PROJECT REPORT

Date: November 14, 2013 STR Project Number: 13160



Feasibility Review of Accessibility
Advisory Committee Proposal –
Accessibility Options for 7 Schools
Beye, Hatch, Irving, Mann, Lincoln, Longfellow, and Whittier

Prepared for:

Board of Education of Oak Park Elementary School District 97 970 W. Madison Street Oak Park, IL 60302

PRELIMINARY 11.08.13

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REPORT SUMMARY

Oak Park District 97 has engaged STR Partners to compile a report describing through schematic sketches and cost estimating the various proposed solutions found in the Accessibility Advisory Committee (AAC) Proposal dated June 11, 2013. The AAC report found that Brooks Middle School, Julian Middle School, and Holmes Elementary School are accessible; therefore, these schools are excluded. The purpose of this study is to provide information necessary for D97 to prioritize this accessibility work along with other improvements through the District's facilities.

STR has utilized the AAC proposal as the basis for this study; meaning, STR was not charged with reviewing and surveying the facilities and providing an accessibility assessment. However, we have visited each facility to observe existing conditions of each of the problem areas. Additionally, STR has provided alternate solutions in instances where the proposed solution was not allowed by code, or if a less intrusive solution was found.

Within each facility section following this summary, we have provided the following documentation:

- A facility narrative
- · Plans indicating the schematic design sketches for each solution
- A line item schematic design estimate

At locations where an elevator is suggested, the AAC has recommended that restrooms and doorways be evaluated for accessibility. We are recommending that the scope for these items be a discussion with FAC once a determination is made as to the feasibility of the elevator. Further description of these items is found in each of the facility summaries. We have proposed locations for Areas of Rescue Assistance as part of the report.

ORDER OF MAGNITUDE ESTIMATE

The following is a summary of the various accessible solutions and their estimated cost. Schematic level estimates of each solution are provided in each facility section.

The estimates provided are based on the schematic sketches we have included within this report. We have provided photos of existing conditions to our estimator for a visual understanding of any obstructions, system interruptions, level of finishes expected, etc. Where appropriate, our schematic estimate allows for ornamental brick detailing as well as higher-grade finish materials in order to meet the current palette of materials or detailing. However, it is important to note that we are without existing documentation of the buildings and have not performed any selective demolition to determine what may be concealed behind walls, ceilings, floors, etc. Once a project is engaged in the future, more detailed investigations will occur, potentially affecting our schematic design estimate either positively or negatively.

END OF SUMMARY

STR PARTNERS REPORT SUMMARY

District Accessibility Renovations SUMMARY

Preliminary

350 West Ontario Street, Suite 200 Chicago, Illinois 60654

Client: Oak Park District 97
Architect: STR Partners # 13160

	STR Partners # 13160				INC	ovember 8, 2013
No.	Description	Quantity	Unit	Unit Price	Amount	Total
	SUMMARY					
	BEYE ELEMENTARY SCHOOL					
BE1	ADA Ramp Addition at South Entry Stairwell				\$340,344	
BE2	Create Area of Rescue Assistance at First Floor No	orth Entry S	Stairwell		\$36,114	
BE3	Install a Elevator Addition for ADA Access				\$584,520	
BE4	Create Two Areas of Rescue Assistance at Second	Floor Cor	ridor.		\$33,425	
BE5	Create Area of Rescue Assistance at Thrid Floor C				\$22,479	
BE6	ADA Door Clearance Issues for accessibility				TBD	
BE7	Provide ADA accessible toilet stalls				TBD	
	Subtotal					\$1,016,883
	HATCH ELEMENTARY SCHOOL					
HE1	Install a Wheel Chair Lift at Stage				\$59,478	
HE2	Install a Elevator Addition for ADA Access				\$396,852	
	Subtotal					\$456,330
	IRVING ELEMENTARY SCHOOL					+ 100,00
IE1	Remove Stairs and Provide ADA Ramp at SW Corr	ner of Mult	ipurpos	e Room	\$47,068	
	Subtotal					\$47,068
	LINCOLN ELEMENTARY SCHOOL					¥ 11,500
LI1	Exterior ADA Access Ramp to Auditorium.				\$562,768	
LI2	Install a Wheel Chair Lift at Stage				Inclued in LI1	
LI3	Remove Stairs and Provide ADA Ramp at Second	Floor Corr	idor		\$62,463	
	Subtotal				7-2,100	\$625,23
	LONGFELLOW ELEMENTARY SCHOOL					ψ020,20
LO1	Install a Elevator Addition for ADA Access				\$810,922	
LO2	Provide ADA Ramps at Second Floor Corridors				\$45,120	
LO3	Create Area of Rescue Assistance				\$19,612	
LO4	Reconfigure Room Entries to be IAC Compliant				TBD	
LO5	Reconfigure Toilet Room to add IAC Toilet Stall				TBD	
	Subtotal					\$875,654
	MANN ELEMENTARY SCHOOL					ψ070,00
MA1	Install a Wheel Chair Lift at Stage				\$74,682	
MA2	ADA Access Ramp to Cafeteria #118				\$27,061	
MA3	Install a Elevator Addition for ADA Access				\$750,689	
MA4	Create Four Areas of Rescue Assistance on the Se	cond and	Third FI	oors	\$23,772	
MA5	Reconfigure Room Entries to be IAC Compliant	Coria aria	11111011	0013	TBD	
MA6	Reconfigure Toilet Room to add IAC Toilet Stall				TBD	
1717 10	Subtotal					\$876,203
	WHITTIER ELEMENTARY SCHOOL					ψο, ο, Σο
WH1	Interior ADA Access Ramp to Multipurpose Room				\$54,720	
WH2	Install a Elevator Addition for ADA Access				\$429,642	
WH3	Remove Stairs and Provide Two ADA Ramp at Sec	cond Floor	Corrido	r	\$127,323	
WH3	Provide ADA Ramp at First Floor Corridor	0110 1 1001	Comac	•	\$36,976	
WH4	Create Area of Rescue Assistance at First Floor Sc	uth Entry	Stainwal	ı	\$87,732	
MA5	Reconfigure Room Entries to be IAC Compliant		otali wei	1.	TBD	
MA6	Reconfigure Toilet Room to add IAC Toilet Stall				TBD	
1411 10	Subtotal					\$736,393
	Subtotal					Ψ1 30,39
	CONSTRUCTION BUDGET					\$4,633,76
WH1	Option Two Addition with Exterior ADA Access Do	mp to Mult	finurnaa	o Poom	¢222 070	
V V 🗂 I	Option Two - Addition with Exterior ADA Access Ra	inp to Muli	upurpos	e Room	\$232,878	

BEYE ELEMENTARY

SUMMARY

The multiple levels and atypical stair access to these levels creates a challenge when attempting to achieve an accessible facility at Beye Elementary. The AAC proposal has identified that there is no accessible egress exit from the south portion of the 1^{st} floor. Additionally, the 2^{nd} and 3^{rd} floors are not accessible. While an elevator has been suggested, complete accessibility cannot be achieved with just one elevator tower.

BE1: 1st FLOOR EGRESS – REWORK SOUTHWEST STAIR FOR RAMP TO EXTERIOR

The AAC report suggests reworking the existing stair between the $\mathbf{1}^{st}$ floor and $\mathbf{2}^{nd}$ floor to accommodate a ramp from the $\mathbf{1}^{st}$ floor to the exterior grade level. This solution will require a small addition to allow for the length of ramp required to achieve this elevation change. The reinstallation of a stair run between the ground level and the $\mathbf{2}^{nd}$ floor will require 4 additional risers to be added to the run.

BE2: AREA OF RESCUE ASSISTANCE – 1ST FLOOR SOUTHEAST STAIR

In the event BE1 is not pursued, the AAC recommended providing at a minimum an Area of Rescue Assistance complete with rated doors and 2-way communication one of the south exit stairs. This will require some removal of lockers. The District will need to advise if relocation is desired.

BE3: VERTICAL ACCESS - ELEVATOR

The AAC proposal has suggested the elevator be located within the north stairwell shaft. STR has determined that this is not viable as it eliminates a required egress stair from the 2nd and 3rd floors. Therefore, we have proposed an exterior elevator tower to be located at the west entry just south of the main office. The following describes the accessibility achieved with this location.

- 1st floor: Remains accessible
- 2nd floor: The north portion of the building becomes accessible including the gymnasium, music room and Media Center however it is an awkward route to the Media Center through the gymnasium. (We understand that the existing locker rooms may be renovated to provide additional instructional space this was not included as part of this study.)
- 3rd floor: By removing the stairs at the penthouse and providing ramps and an elevated landing, the entire 3rd floor becomes accessible.

STR PARTNERS BEYE SUMMARY

BE4: AREAS OF RESCUE ASSISTANCE – 2nd FLOOR

As a result of adding vertical accessibility, it will be necessary to provide area of rescue assistance and associated signage for egress. We have identified locations at the 2nd floor for this purpose.

BE5: AREAS OF RESCUE ASSISTANCE – 3rd FLOOR

As a result of adding vertical accessibility, it will be necessary to provide area of rescue assistance and associated signage for egress. We have identified locations at the 3rd floor for this purpose.

BE6: CLASSROOM DOOR ADA RENOVATIONS

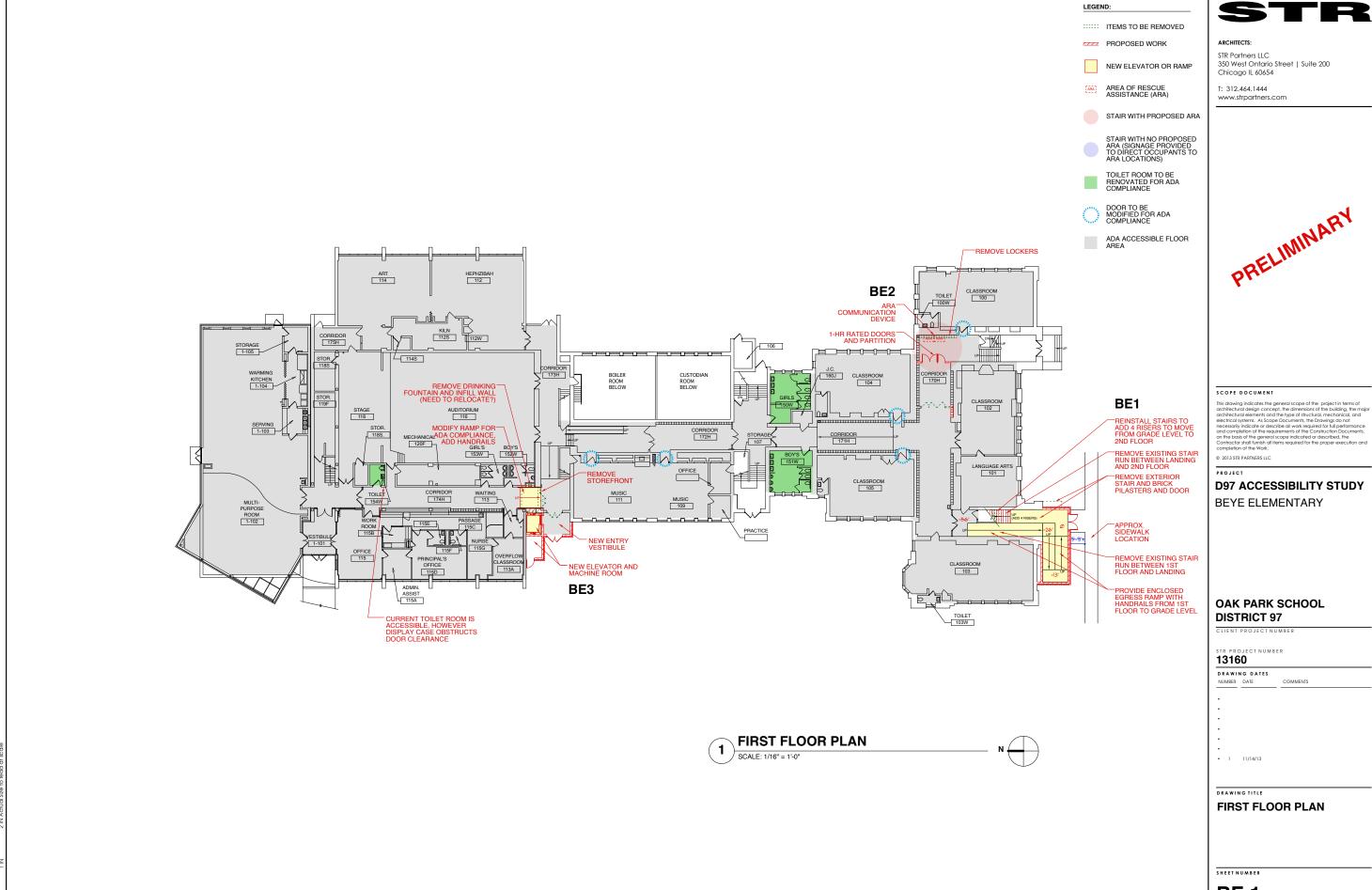
With the implementation of the elevator, there is now a large portion of the building that becomes accessible that previously was not. Consequently, there are several doorways that do not meet the required clearances for accessibility. We have attempted to identify the doors we believe will require adjustment in order to meet ADA regulations. However, with varying existing conditions, each opening has its own challenge. In many cases, to meet the letter of the code, intensive deconstruction is required. We believe that a solution for this condition will take in depth discussion with FAC and the District to determine what is in the best interest of the District as well as the users. Therefore, at this time, we have not provided a cost estimate for door opening renovation work.

MA6: TOILET ROOM ADA RENOVATIONS

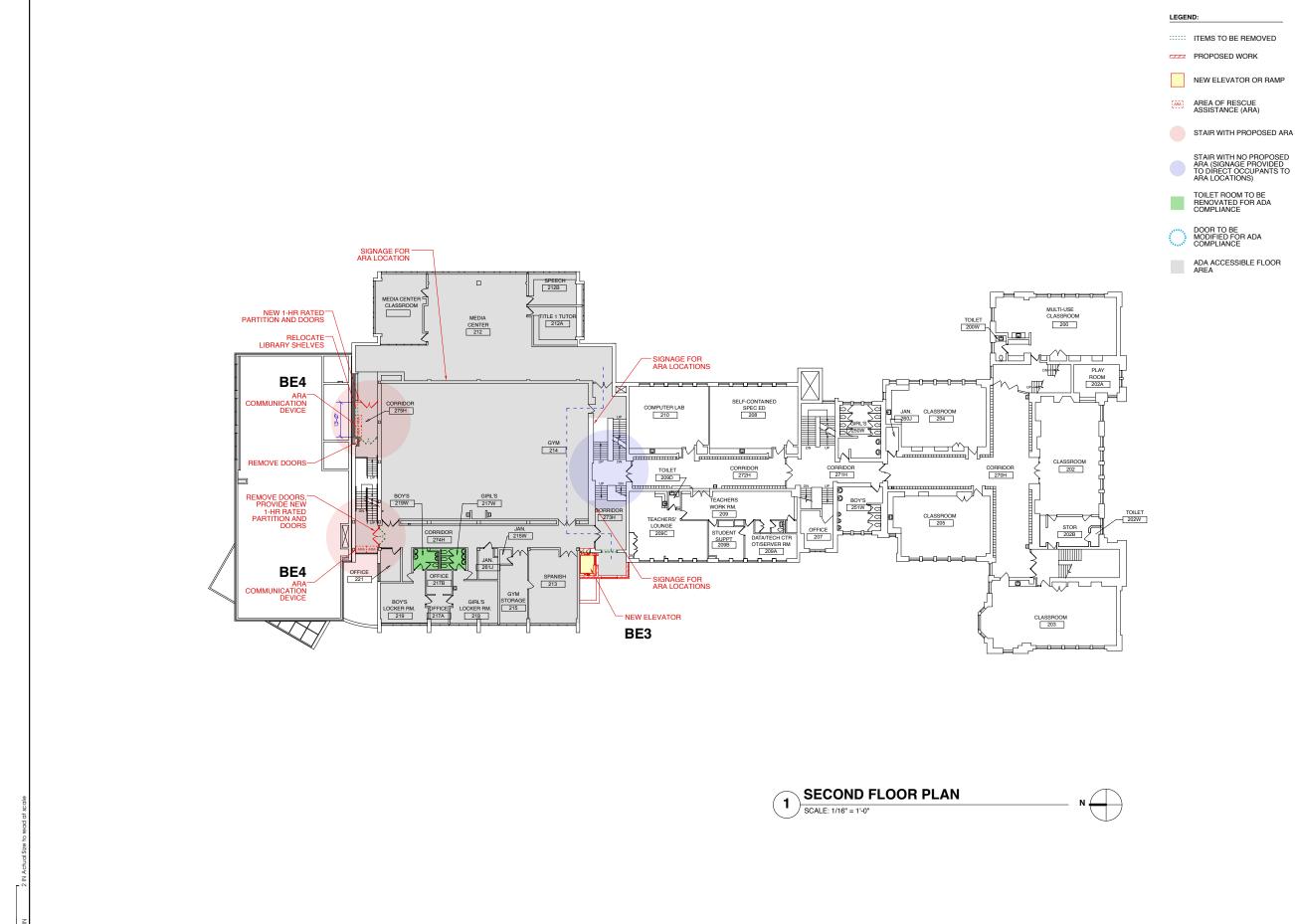
With the implementation of the elevator, there is now a large portion of the building that becomes accessible that previously was not. Consequently, there are toilet rooms that do not have accessible stalls or sinks or even entrances. Additionally, accessible drinking fountains are absent from most if not all newly accessible areas. We have suggested as part of this report locations for toilet room renovations to accommodate disabled users. At this time, we are recommending working with FAC and with the District to determine a philosophy to guide this scope through all facilities. Therefore, at this time, we have not provided a cost estimate for toilet renovation work.

END OF BEYE

STR PARTNERS BEYE SUMMARY



BE.1



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SCOPE DOCUMENT

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D97 ACCESSIBILITY STUDY BEYE ELEMENTARY

OAK PARK SCHOOL **DISTRICT 97**

STR PROJECT NUMBER

DRAWING DATES
NUMBER DATE

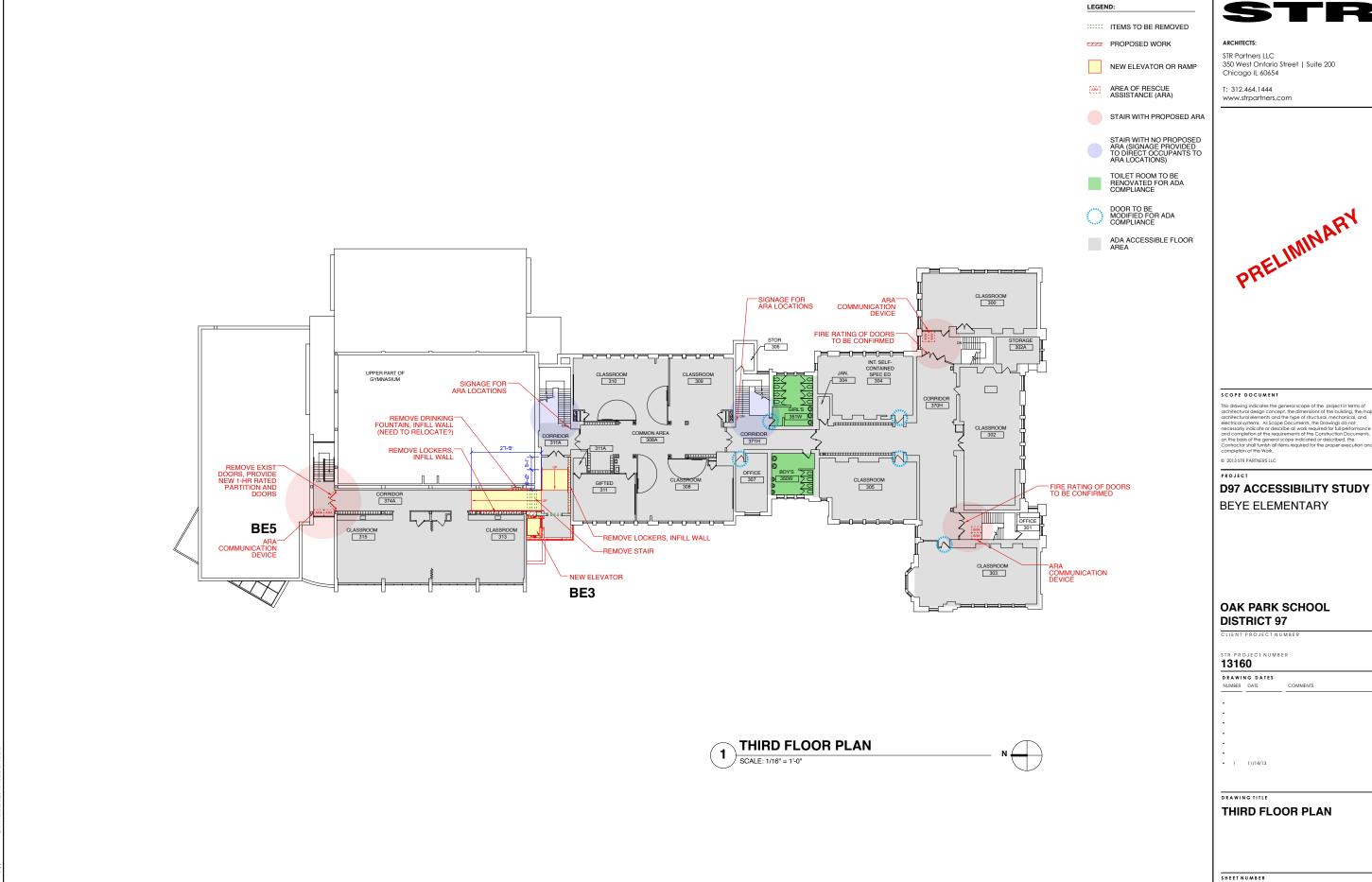
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DRAWING TITLE

SECOND FLOOR PLAN

SHEET NUMBER

BE.2



BE.3

District Accessibility Renovations Beye Elementary School

Preliminary

STER CONSULTING 350 West Ontario Street, Suite 200 Chicago, Illinois 60654

Client: Oak Park District 97 Architect: STR Partners # 13160

No.	Description	Quantity	Unit	Unit Price	Amount	Total
BE1	ADA Ramp Addition at South Entry Stairwell					
A.	Site Work					
	1 Remove sidewalks	1	allow	\$1,840	\$1,840	
:	Remove exterior linestone stairs	1	allow	\$3,680	\$3,680	
;	Remove wall mounted lights, plaques, & devices	4	hours	\$90.00	\$360	
	Remove landscaping	1	allow	\$760	\$760	
B.	Selective Demolition					
	1 Demo walls	4	hours	\$90.00	\$360	
:	Remove door under stairway	1	each	\$90.00	\$90	
;	Remove exterior pair of doors	1	allow	\$180.00	\$180	
	Demo interior stairway & partitons	1	allow	\$3,380	\$3,380	
	Remove SOG	320	s.f.	\$5.00	\$1,600	
	Remove debris from Building	8	m.h.	\$92.00	\$736	
(Dumpsters	4	each	\$500.00	\$2,000	
C.	Protection					
	1 Barricade and fencing	200	l.f.	\$10.00	\$2,000	
	2 Maintenance and removal of protection	40	hours	\$90.00	\$3,600	
D.	Excavation and Concrete					
	1 Clean and compact foot print	500	s.f.	\$2.00	\$1,000	
	2 Excavation for footing	+	C.y.	\$20.00	\$1,280	
	3 Disposal of debris		loads	\$500.00	\$1,500	
	4 Footing	8	C.y.	\$250.00	\$2,083	
	5 Foundation 12" thick	11	C.y.	\$400.00	\$4,267	
	6 Slab on grade		s.f.	\$5.00	\$6,000	
	7 Ramp interior footing & foundation	+	l.f.	\$125.00	\$10,000	
	B Ramp slab	295		\$8.00	\$2,360	
	9 Concrete fill in metal pan stairs	1	allow	\$1,200.00	\$1,200	
D.	Masonry	-		+ 1,= 1111	7 1,200	
	1 Salvage existing stone lintel for re-use	8	hours	\$90.00	\$720	
	2 Enlarge entry opening & install stone lintel			400.00	Ψ. Ξο	
<u> </u>	a. Temporary shoring allowance	1	allow	\$1,220	\$1,220	
	b. Masonry (2 masons for 4 days)		hours	\$92.00	\$5,888	
	c. Laborers		hours	\$90.00	\$2,880	
	d. Lintel	12		\$150.00	\$1,800	
	e. Mason material allowance	+	allow	\$1,500.00	\$1,500	
	Exterior brick cavity walls - Bearing	1,440		\$50.00	\$72,000	
•	a. Allowance for ornamental masonry	10%	-	\$72,000	\$7,200	
	3 New 8" CMU walls in addition	225	†	\$14.00	\$3,150	
E.	Roof structure	390		\$25.00	\$9,750	
F.	Roofing	330	J.1.	Ψ20.00	ψ3,130	
	1 Single ply roof with insulation	390	s f	\$18.00	\$7,020	
	2 Connection to existing building	33		\$65.00	\$2,145	
	Commodition to existing building	- 55	1.1.	ψ00.00	Ψ2, 173	
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District Accessibility Renovations Beye Elementary School

Preliminary

STER CONSULTING 350 West Ontario Street, Suite 200 Chicago, Illinois 60654

Client: Oak Park District 97 Architect: STR Partners # 13160

	-	STR Partners # 13160			1		ovember 8, 201
No.		Description	Quantity	Unit	Unit Price	Amount	Total
BE1		ADA Ramp Addition at South Entry Stairwell					
G.		Windows and Doors					
	1	New storefront & pair of doors	1	each	\$3,500.00	\$3,500	
	2	New exterior windows	4	each	\$836.00	\$3,344	
Н.		Interior Construction					
	1	Rated drywall partitions				None	
		Sills and trim at exterior window	4	each	\$480.00	\$1,920	
	3	Allowance to patch existing walls	1	locatio	\$820.00	\$820	
	5	2x4 ACT ceiling	710	s.f.	\$3.75	\$2,663	
I.		Miscellaneous Metals					
	1	Free standing	70	l.f.	\$225.00	\$15,750	
	2	Wall mounted	60	l.f.	\$75.00	\$4,500	
	3	Metal pan stair & rail to second floor	1	each	\$12,000	\$9,000	
J.		Painting					
	1	Allowance for painting rails	1	allow	\$820.00	\$820	
		Clean existing brick walls	1,320	s.f.	\$2.00	\$2,640	
		Paint CMU walls		s.f.	\$1.10	\$1,162	
		Miscellaneous painting & chalking	1	allow	\$800.00	\$800	
K.		HVAC			,	,,,,,	
	1	Roof Top Zoned System	710	s f	\$25.00	\$17,750	
		Exhaust system	1	allow	\$1,500.00	\$1,500	
L.		Electrical			ψ.,σσσ.σσ	4.,000	
	1	Exit sign	4	each	\$500.00	\$2,000	
		Lighting		s.f.	\$6.00	\$4,260	
		FA devices (pulls, horn & strobes)		allow	\$1,260.00	\$2,520	
		Outlets and power	1	allow	\$2,020.00	\$2,020	
М.		Plumbing	'	anow	Ψ2,020.00	Ψ2,020	
IVI.	1	Roof drains and downspouts	2	each	\$800.00	\$1,600	
N.		Restore paving and site	1	allow	\$5,000.00	\$5,000	
IN.		Subtotal Construction	Į.	allow	\$5,000.00	ψ3,000	¢240.4
							\$249,1
0		General Requirements	450/		0040447	007.000	
		General Conditions	15%		\$249,117	\$37,368	
		Contractor Overhead and Profit	8%		\$286,485	\$22,919	
	3	Contingency	10%		\$309,403	\$30,940	
		Total Estimated Budget					\$340,34
							·

District Accessibility Renovations Beye Elementary School

Preliminary

350 West Ontario Street, Suite 200 Chicago, Illinois 60654

Client: Oak Park District 97 Architect: STR Partners # 13160

No.	:	Description	Quantity	Linit	Unit Price	Amount	November 8, 20 ⁻ Total
NO.		Description	Quartity	Offic	Office	Amount	IOlai
BE2		Create Area of Rescue Assistance at First Floor No	rth Entry 9	Stainwa	l l		
A.		Demolition and Prep	itui Eilu y v	Stall WE			
Α.	_	Temporary barricades	26	l f	\$25.00	\$650	
	_		156		\$25.00		
		Remove Existing Ceiling			\$2.00	\$312	
	-	Remove hallway partition & pair & +1 doors Remove classroom door & frame 100	2	allow	\$920.00	\$920	
	_	Remove classroom door & frame 100 Remove lockers		each allow	\$130.00	\$260	
	_		1		\$92.00	\$92	
		Remove debris from Building	4	m.h.	\$92.00	\$368	
	_	Dumpsters	1	each	\$500.00	\$500	
		Clean up & house keeping	1	allow	\$360.00	\$360	
B.	_	Interior Construction			04 500 00	0.4.500	
	_	Rated HM Frame / HM Door / Hardware 100	1	each	\$1,500.00	\$1,500	
		Rated Hallway HM Frame / Pair HM Door / Hardwa		pair	\$2,800.00	\$2,800	
	_	Rated Hallway HM door & frame / hardware	1	allow	\$1,500.00	\$1,500	
	_	Rated hallway partition		s.f.	\$10.00	\$2,100	
	_	Repair wall at dis-jointed partitions	1	allow	\$920.00	\$920	
		Repair walls at old locker locations	1	allow	\$920.00	\$920	
	_	Relocate lockers	1	allow	\$1,460.00	\$1,460	
	_	Replace ceiling (Assume ACT)	156	s.f.	\$4.50	\$702	
	9	6" x 9" Signs	2	each	\$50.00	\$100	
C.	_	Painting and Finishes					
	1	Paint walls	600	s.f.	\$1.00	\$600	
	2	Paint Ceiling				None	
	3	Paint HM Frame	2	each	\$85.00	\$170	
	4	Paint HM Pair Frame	1	each	\$120.00	\$120	
	4	Repair flooring	1	allow	\$1,220.00	\$1,220	
D.		HVAC				None	
E.		Plumbing				None	
F.		Electrical					
	1	Modify existing Lighting & exit signs	1	allow	\$1,360.00	\$1,360	
	2	Fire Alarm			E	isting to Remain	
	3	Two Way Communications "Box"	2	each	\$500.00	\$1,000	
	4	Tie Into Existing Two Way System in Building		each	\$1,500.00	\$1,500	
		Low Voltage Power to Door Hold Opens		each	\$2,500.00	\$2,500	
	_	Connect hold opens to FA	1	each	\$2,500.00	\$2,500	
G.		Fire Protection				None	
		Subtotal Total Estimated Budget					\$26,43
Н.		General Requirements					·
	1	General Conditions	15%		\$26,434	\$3,965	
	_	Contractor Overhead and Profit	8%		\$30,399	\$2,432	
	_	Contingency	10%		\$32,831	\$3,283	
		Total Estimated Budget					\$36,11
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District Accessibility Renovations Beye Elementary School

Preliminary

STER CONSULTING 350 West Ontario Street, Suite 200 Chicago, Illinois 60654

Client: Oak Park District 97 Architect: STR Partners # 13160

No.		Description	Quantity	Unit	Unit Price	Amount	Total
BE3		Install a Elevator Addition for ADA Access					
A.		Demolition					
	1	Remove sidewalk	1	allow	\$1,120.00	\$1,120	
	2	Remove curtain wall glazing	1	allow	\$1,640.00	\$1,640	
	3	Remove exterior pair of door and transom	1	allow	\$640.00	\$640	
	4	Remove exterior windows	2	each	\$230.00	\$460	
	5	Remove wall mounted lights, speakers, & devices	1	allow	\$480.00	\$480	
	6	Masonry demolition			Se	e Masonry Below	
	7	Frist Floor Interior Demo					
		a. Remove drinking fountain & cap lines	2	hours	\$90.00	\$180	
		b. Remove interior storefront doors	2	hours	\$90.00	\$180	
		c. Strip flooring at vestibule and ramp	1	each	\$184.00	\$184	
	8	Second Floor Interior Demo					
		a. Remove corridor ceilng for access to strucrure	250	s.f.	\$2.00	\$500	
	9	Thrid Floor Interior Demo					
		a. Strip flooring and stair nosing	1	each	\$184.00	\$184	
		b. Remove stair rails	1	hours	\$92.00	\$92	
		c. Remove locker	8	hours	\$92.00	\$736	
		d. Remove drinking fountain & cap lines	2	hours	\$90.00	\$180	
	10	Remove debris from Building	8	m.h.	\$92.00	\$736	
		Dumpsters	8	each	\$500.00	\$4,000	
В.		Elevator pit & concrete work					
	1	Excavation for pit & footing	74	C.y.	\$25.00	\$1,859	
	2	Elevator pit allowance	1	allow	\$8,000.00	\$8,000	
		Equipment room & vestibule foundation	33	l.f.	\$275.00	\$9,075	
		Waterproofing allowance	456	s.f.	\$6.00	\$2,736	
		Backfill		c.y.	\$25.00	\$930	
C.		Masonry		,	·	·	
	1	Create openomg in exterior brick wall					
		a. Scaffolding	3	floor	\$920.00	\$2,760	
		b.Remove bricks and tooth jambs		floor	\$1,640.00	\$4,920	
		c. Modify existing parapets for new addition		allow	\$1,640.00	\$1,640	
	2	Elevator shaft				. , -	
		a. 8" CMU infill at curtain walls opening w/ brick fac	200	s.f.	\$50.00	\$10,000	
		b. 8" CMU shaft partition	540		\$14.00	\$7,560	
		c. Brick cavity wall at Lobbies & shaft	875	-	\$50.00	\$43,750	
		d. Brick cavity wall at Equipment Rm & Vestibule	525		\$50.00	\$26,250	
		e. Allowance for ornamental brick work to match		allow	\$2,660.00	\$2,660	
		f. Allowance for ornamental parapet	35		\$100.00	\$3,500	
		g. Override penthouse allowance	150		\$50.00	\$7,500	
	3	Interior masonry				. ,	
		a. Infill 3rd floor fountian recess with CMU	1	allow	\$820.00	\$820	
		b. Brick veneer at 1st floor lobby	260	+	\$20.00	\$5,200	
		c. Infill 1st floor fountian recess with brick		allow	\$1,020.00	\$1,020	
				<u> </u>		. , , =	

District Accessibility Renovations Beye Elementary School

Preliminary

STER CONSULTING 350 West Ontario Street, Suite 200 Chicago, Illinois 60654

Client: Oak Park District 97
Architect: STR Partners # 13160

November 8, 2013

No.	Description	Quantity	Unit	Unit Price	Amount	Total
BE3	Install a Elevator Addition for ADA Access					
D.	Structural for elevator lobbies					
	Slab on grade for vestibule and Equip. room	170	e f	\$8.00	\$1,360	
	2 2nd & 3rd floor lobby decks		s.f.	\$35.00	\$7,700	
	B Equipment room & lobby roof decks	260		\$35.00	\$9,100	
	Structural connection to existing building		I.f.	\$75.00	\$12,600	
E.	Structural work to replace 3rd floor stair with ADA re		1.1.	Ψ13.00	\$12,000	
	Remove concrete floor structural	1	allow	\$3,380.00	\$3,380	
	2 Deposal of concrete material	4	loads	\$500.00	\$2,000	
	New steel floor structure	1	allow	\$9,360.00	\$9,360	
	Ramp decks	•	s.f.	\$35.00	\$14,000	
	a. 3rd floor raised ADA landing between ramps		s.f.	\$25.00	\$2,775	
F.	Roofing	111	3.1.	Ψ23.00	Ψ2,113	
1.	Built up roofing and insulation	260	s.f.	\$25.00	\$6,500	
	P Flashing & connection to existing		I.f.	\$65.00	\$2,730	
G.	Custom elevator allowance	1	each	\$100,000	\$100,000	
H.	Exterior doors and windows	'	Cacii	\$100,000	\$100,000	
11.	Exterior doors and windows Exterior HM door at Equipment Room	1	allow	\$1,200	\$1,200	
	2 Storefront vestibule pair of doors	1	allow	\$4,000	\$4,000	
	3 2nd & 3rd floor lobby window			\$2,160		
<u>`</u> I.	Interior Construction		each	\$2,100	\$4,320	
1.	Modify 1st floor ramp to meet ADA					
	a. Remove partition and pair of corridor doors				See Demo above	
	b. Slab fill to correct pitch	75	s.f.	\$12.00	\$900	
	2 Miscellaneous Metels	73	5.1.	\$12.00	\$900	
	a. Miscellaneous metal ladder & threshold	1	allow	\$1,200.00	\$1,200	
	b. 1st floor wall mounted ramp rails	•	I.f.	\$75.00	\$6,000	
	c. 3rd floor wall mounted ramp rails		l.f.	\$75.00	\$1,500	
	B Drywall Partitions	20	1.1.	\$75.00	φ1,500	
•	a. Infill 3rd floorlocker recess	264	c f	\$6.00	\$1,584	
	b. Miscellaneous plaster patch on 1st & 2nd floors	1	allow	\$920.00	\$920	
			allow		\$2,760	
	c. Trim out plaster / brick junction at lobby openings Drywall ceiling in elevator lobby	285		\$920.00 \$12.00	\$3,420	
	a. Soffit at ceiling joints - 1st floor		1.f.	\$40.00	\$3,420	
J.	Interior Finishes	3	1.1.	ψ+0.00	φου	
J.	Flooring					
	a. VCT floor	300	s f	\$4.00	\$1,200	
	b. Texture VCT at ramps	475	+	\$5.50	\$2,613	
	c. Walk off carpet tile at 1st floor vestibule		s.f.	\$25.00	\$2,375	
	d. Elevator flooring	1	allow	\$500.00	\$500	
	e. 4" wall base	224		\$3.50	\$784	
	f. Sealed concrete floor in equipment room		s.f.	\$1.50	\$83	
	n. coulou concrete noor in equipment room	- 55	5.1.	Ψ1.50	ΨΟΟ	

Page 6

OakParkDist-ADA-1.xls

District Accessibility Renovations Beye Elementary School

Preliminary

350 West Ontario Street, Suite 200 Chicago, Illinois 60654

Client: Oak Park District 97 Architect: STR Partners # 13160

No.		Description	Quantity	Linit	Unit Price	Amount	Total
NO.		Description	Quantity	Unit	Unit Price	Amount	iotai
BE3		Install a Elevator Addition for ADA Access					
		Painting					
		a. Paint CMU	1,200	s.f.	\$1.20	\$1,440	
		b. Paint drywall		s.f.	\$1.00	\$440	
		c. Paint ceiling		s.f.	\$1.75	\$499	
		1. Paint soffit		l.f.	\$10.00	\$90	
		d. Paint metals and rails	1	allow	\$1,020.00	\$1,020	
		e. Re-product wall murals and decoration			, , ,	NIC	
K.		HVAC Modification					
	1	Heating & exhaust for elevator equipment room	1	allow	\$4,000.00	\$4,000	
		Elevator shaft exhaust	1	allow	\$1,500.00	\$1,500	
		Modify 2nd & 3rd floor fin tube & covers		each	\$3,080.00	\$6,160	
		Modify 1st floor fin tube & covers at curtain walls		each	\$2,320.00	\$2,320	
		Modify 1st floor heater cabinets	-	-		Existing to remain	
L.		Electrical				- zarotang to romam	
	1	Power to elevator					
	•	Modify existing switchgear or MDP	1	allow	\$20,000	\$20,000	
		b. New panels	1	allow	\$8,000.00	\$8,000	
		c. Final connections, trim out, and testing	1	allow	\$2,000.00	\$2,000	
	2	Revise lighting for elevator lobby	3	each	1,640.00	\$4,920	
		Lighting and electrical device in shaft	1	allow	500.00	\$500	
		Lighting and convenience power in equipment roon	1	each	1,260.00	\$1,260	
M.	_	Fire Alarm & Communication Connections	1	allow	\$3,680.00	\$3,680	
IVI.	1	Relocate security cameras	1	allow	\$800.00	\$800	
		Relocate exterior speaker	1	allow	\$500.00	\$500	
N.		Landscape restoration		allow	\$10,000	\$10,000	
11.		Subtotal	<u>'</u>	anow	Ψ10,000	ψ10,000	\$427,8
0.		General Requirements					Ψ+21,0
0.	1	General Conditions	10%		\$427,844	\$42,784	
		Contractor Overhead & Profit	8%		\$470,628	\$37,650	
	_	Contingency	15%		\$508,278	\$76,242	
	J	Total Construction Estimated Cost	1370		\$300,270	\$70,242	\$584,5
		Total Construction Estimated Cost					\$304 ,0
					-		

District Accessibility Renovations Beye Elementary School

Preliminary

350 West Ontario Street, Suite 200 Chicago, Illinois 60654

Client: Oak Park District 97 Architect: STR Partners # 13160

No.		Description	Quantity	Unit	Unit Price	Amount	Total
BE4		Create Two Areas of Rescue Assistance at Second	Floor Cor	ridor.			
A.		Demolition and Prep					
	1	Temporary barricades	17	l.f.	\$25.00	\$425	
	2	Remove Existing Ceiling	102	s.f.	\$2.00	\$204	
	3	Remove hallway partition & pair doors	2	allow	\$920.00	\$1,840	
	4	Remove debris from Building	4	m.h.	\$92.00	\$368	
	5	Dumpsters	1	each	\$500.00	\$500	
	6	Clean up & house keeping	1	allow	\$360.00	\$360	
B.		Interior Construction					
	1	Rated Hallway HM Frame / Pair HM Door / Hardwa	2	pair	\$2,800.00	\$5,600	
	2	Rated hallway partition	255	s.f.	\$10.00	\$2,550	
	З	Repair wall at dis-jointed partitions	1	allow	\$920.00	\$920	
	4	Replace ceiling (Assume ACT)	102	s.f.	\$4.50	\$459	
	5	6" x 9" Signs	2	each	\$50.00	\$100	
C.		Painting and Finishes					
	1	Paint walls	920	s.f.	\$1.00	\$920	
	2	Paint Ceiling				None	
	3	Paint HM Pair Frame	2	each	\$120.00	\$240	
	4	Repair flooring	2	allow	\$560.00	\$1,120	
D.		HVAC				None	
E.		Plumbing				None	
F.		Electrical					
	1	Modify existing Lighting & exit signs	1	allow	\$1,360.00	\$1,360	
		Fire Alarm			E	xisting to Remain	
	3	Two Way Communications "Box"	2	each	\$500.00	\$1,000	
	4	Tie Into Existing Two Way System in Building	1	each	\$1,500.00	\$1,500	
	5	Low Voltage Power to Door Hold Opens	1	each	\$2,500.00	\$2,500	
		Connect hold opens to FA	1	each	\$2,500.00	\$2,500	
G.		Fire Protection				None	
		Subtotal Total Estimated Budget					\$24,46
Н.		General Requirements					
	1	General Conditions	15%		\$24,466	\$3,670	
		Contractor Overhead and Profit	8%		\$28,136	\$2,251	
		Contingency	10%		\$30,387	\$3,039	
		Total Estimated Budget					\$33,42
		J					. ,

District Accessibility Renovations Beye Elementary School

Preliminary

350 West Ontario Street, Suite 200 Chicago, Illinois 60654

Client: Oak Park District 97
Architect: STR Partners # 13160

November 8, 2013

No.		STR Partners # 13160	Quantity	Lloit	Unit Drice		November 8, 20 ⁻ Total
NO.		Description	Quantity	Unit	Unit Price	Amount	iotai
BE5		Create Area of Rescue Assistance at Thrid Floor Co	orridor				
A.		Demolition and Prep	orridor.				
71.	1	Temporary barricades	16	l f	\$25.00	\$400	_
		Remove Existing Ceiling		s.f.	\$2.00	\$128	
		Remove hallway partition & pair doors	1	allow	\$920.00	\$920	
		Remove debris from Building	4	m.h.	\$92.00	\$368	
		Dumpsters	1	each	\$500.00	\$500	
		Clean up & house keeping	1	allow	\$360.00	\$360	
В.		Interior Construction				·	
	1	Rated Hallway HM Frame / Pair HM Door / Hardwa	1	pair	\$2,800.00	\$2,800	
		Rated hallway partition		s.f.	\$10.00	\$1,350	
		Repair wall at dis-jointed partitions		allow	\$920.00	\$0	
		Replace ceiling (Assume ACT)		s.f.	\$4.50	\$288	
		6" x 9" Signs	2	each	\$50.00	\$100	
C.		Painting and Finishes			,	*	
	1	Paint walls	200	s.f.	\$1.00	\$200	
		Paint Ceiling			, ,	None	
		Paint HM Pair Frame	1	each	\$120.00	\$120	
		Repair flooring	1	allow	\$560.00	\$560	
D.		HVAC			·	None	
E.		Plumbing				None	
F.		Electrical					
	1	Modify existing Lighting & exit signs	1	allow	\$1,360.00	\$1,360	
		Fire Alarm			<u> </u>	xisting to Remain	
	3	Two Way Communications "Box"	1	each	\$500.00	\$500	
		Tie Into Existing Two Way System in Building	1	each	\$1,500.00	\$1,500	
		Low Voltage Power to Door Hold Opens	1	each	\$2,500.00	\$2,500	
		Connect hold opens to FA	1	each	\$2,500.00	\$2,500	
G.		Fire Protection				None	
		Subtotal Total Estimated Budget					\$16,4
Н.		General Requirements					
	1	General Conditions	15%		\$16,454	\$2,468	
	2	Contractor Overhead and Profit	8%		\$18,922	\$1,514	
	3	Contingency	10%		\$20,436	\$2,044	
		Total Estimated Budget					\$22,4

Page 9 OakParkDist-ADA-1.xls

HATCH ELEMENTARY

SUMMARY

Stage Access has been identified as the primary issue at Hatch. A chair lift that travels along the existing stairwell handrails has been installed at the southeast stair. The AAC report indicates this is not a permanent solution and suggests that an elevator could be added to achieve accessibility to all levels.

HA1: STAGE ACCESS – VERITCAL PLATFORM LIFT

We have proposed reworking the west exit stair of the stage to accommodate a platform lift within the stage area. This will allow both a stair and a lift to access the stage for more flexibility of use. Though we do not have existing drawings of this building, it appears that this stage is of wood construction.

HA2: VERTICAL ACCESS - ELEVATOR

The AAC proposal has suggested the elevator be located in the northwest stairwell. However, this is a required egress exit stair from the 2nd and 3rd floors. STR has proposed the elevator be located in the southwest stairwell. This will allow for two exits from the 2nd and 3rd floors and provides an open vertical space to locate an elevator.

This location, however, is over the air tunnel in the basement. We propose installing a hole-less hydraulic elevator and suspending the pit within the air space below. Further investigation into the actual height of this tunnel will be required to determine the viability of this option – at this time we do not have existing documentation of the building to confirm.

Additionally, the exterior storage room will need to be relocated if deemed necessary, as this space will now be the elevator machine room.

AREAS OF RESCUE ASSISTANCE - 2nd and 3rd FLOORS

As a result of adding vertical accessibility, it will be necessary to provide area of rescue assistance and associated signage for egress. We have identified locations at the 2nd and 3rd floors for this purpose.

CLASSROOM DOOR ADA RENOVATIONS

With the implementation of the elevator, there is now a large portion of the building that becomes accessible that previously was not. Consequently, there are several doorways that do not meet the required clearances for accessibility. We have attempted to identify the doors we believe will require adjustment in order to meet ADA regulations. However, with varying existing conditions, each opening has its own challenge. In many cases, to meet the letter of the code, intensive deconstruction is required. We believe that a solution for this condition will take in depth discussion with FAC and the

STR PARTNERS HATCH SUMMARY

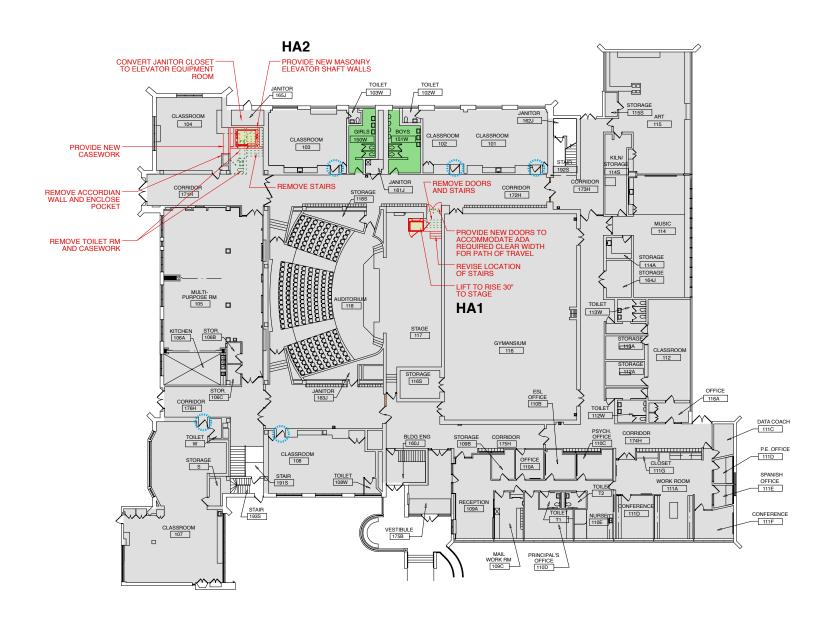
District to determine what is in the best interest of the District as well as the users. Therefore, at this time, we have not provided a cost estimate for door opening renovation work.

TOILET ROOM ADA RENOVATIONS

With the implementation of the elevator, there is now a large portion of the building that becomes accessible that previously was not. Consequently, there are toilet rooms that do not have accessible stalls or sinks or even entrances. Additionally, accessible drinking fountains are absent from most if not all newly accessible areas. We have suggested as part of this report locations for toilet room renovations to accommodate disabled users. At this time, we are recommending working with FAC and with the District to determine a philosophy to guide this scope through all facilities. Therefore, at this time, we have not provided a cost estimate for toilet renovation work.

END OF HATCH

STR PARTNERS HATCH SUMMARY



FIRST FLOOR PLAN

SCALE: 1/16" = 1'-0"

LEGEND: :::::: ITEMS TO BE REMOVED PROPOSED WORK NEW ELEVATOR OR RAMP STAIR WITH PROPOSED ARA STAIR WITH NO PROPOSED ARA (SIGNAGE PROVIDED TO DIRECT OCCUPANTS TO ARA LOCATIONS) TOILET ROOM TO BE RENOVATED FOR ADA COMPLIANCE DOOR TO BE MODIFIED FOR ADA COMPLIANCE

ADA ACCESSIBLE FLOOR AREA

STR Partners LLC 350 West Ontario Street | Suite 200

Chicago IL 60654 T: 312.464.1444 www.strpartners.com

SCOPE DOCUMENT

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D97 ACCESSIBILITY STUDY HATCH ELEMENTARY

OAK PARK SCHOOL **DISTRICT 97**

STR PROJECT NUMBER

DRAWING DATES
NUMBER DATE

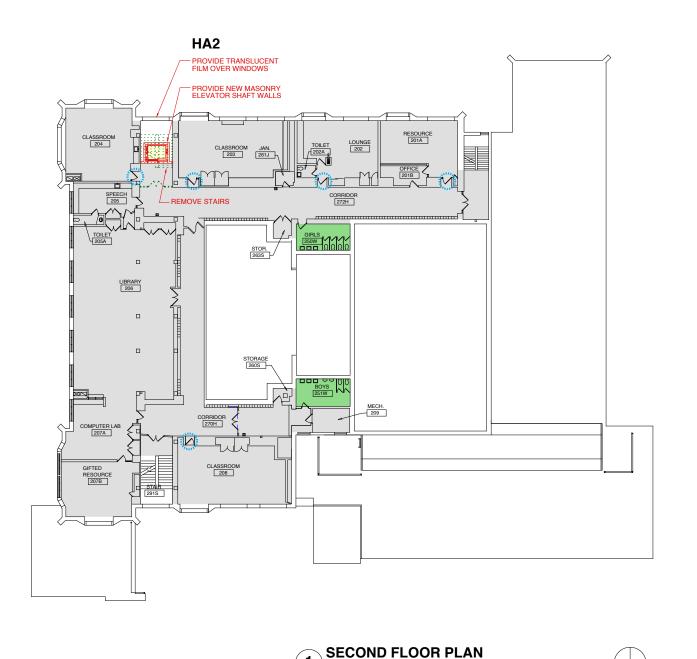
• 1 11/14/13

DRAWING TITLE

FIRST FLOOR PLAN

SHEET NUMBER

HA.1



SCALE: 1/16" = 1'-0"

:::::: ITEMS TO BE REMOVED

LEGEND:

PROPOSED WORK

NEW ELEVATOR OR RAMP

STAIR WITH PROPOSED ARA

TOILET ROOM TO BE RENOVATED FOR ADA COMPLIANCE

DOOR TO BE MODIFIED FOR ADA COMPLIANCE

ADA ACCESSIBLE FLOOR AREA

STAIR WITH NO PROPOSED ARA (SIGNAGE PROVIDED TO DIRECT OCCUPANTS TO ARA LOCATIONS)

STR Partners LLC 350 West Ontario Street | Suite 200 Chicago IL 60654

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SCOPE DOCUMENT

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D97 ACCESSIBILITY STUDY HATCH ELEMENTARY

OAK PARK SCHOOL **DISTRICT 97**

STR PROJECT NUMBER

DRAWING DATES
NUMBER DATE

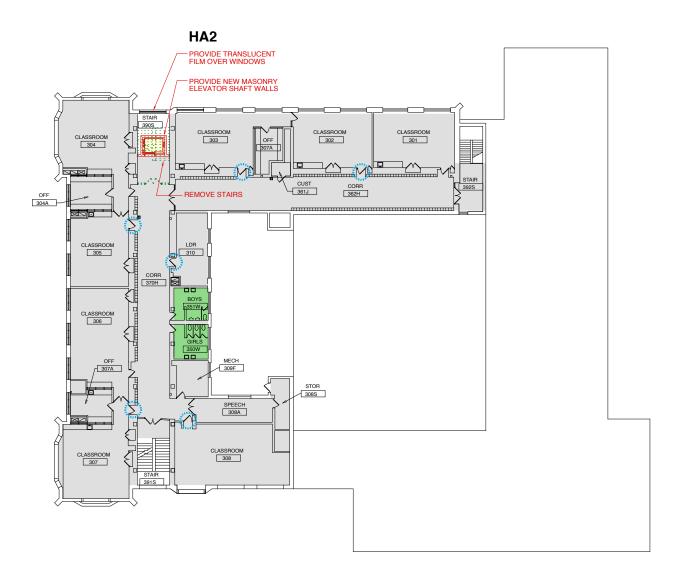
• 1 11/14/13

DRAWING TITLE

SECOND FLOOR PLAN

SHEET NUMBER

HA.2



THIRD FLOOR PLAN

SCALE: 1/16" = 1-0"



:::::: ITEMS TO BE REMOVED

LEGEND:

DOOR TO BE MODIFIED FOR ADA COMPLIANCE

ADA ACCESSIBLE FLOOR AREA



ARCHITECTS:

STR Partners LLC 350 West Ontario Street | Suite 200 Chicago IL 60654

T: 312.464.1444 www.strpartners.com



SCOPE DOCUMENT

This drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the may architectural elements and the type of structural, mechanical, and electrical systems. As Scope Documents, the Drawings do not necessarly indicate or describe all work required for full performance and completion of the requirements of the Construction Documents, on the basis of the general scope indicated or described, the Contractor shall furnish all items required for the proper execution and completion of the Work.

D97 ACCESSIBILITY STUDY HATCH ELEMENTARY

OAK PARK SCHOOL DISTRICT 97

CLIENT PROJECT NUM

STR PROJECT NUMBER

DRAWING DATES
NUMBER DATE

• 1 11/14/13

DRAWING TITLE

THIRD FLOOR PLAN

S H E E T N U M B E R

HA.3

Z IN ACTUAL SIZE TO FEAD AT SCO

District Accessibility Renovations Hatch Elementary School

Preliminary

350 West Ontario Street, Suite 200 Chicago, Illinois 60654

Client: Oak Park District 97 Architect: STR Partners # 13160

No.		Description	Quantity	Unit	Unit Price	Amount	Total
HE1		Install a Wheel Chair Lift at Stage					
A.		Run Power to Location					
Α.	1	Conduit and wire	100	l f	\$12.00	\$1,200	
					 		
		New breaker in existing panel		allow	\$1,200.00	\$1,200	
	3	Final connections, trim out, and testing	1	allow	\$960.00	\$960	
B.		Lift - DME Symmetry Lift	1	each	\$23,000	\$23,000	
C.	1	Modify stage for lift*	1	allow	£100.00	¢100	
		Remove existing doors & frame	1	allow	\$180.00	\$180	
		Remove wood stairs & rails	1	allow	\$360.00	\$360	
		Cut & frame stage for lift and new steps		allow	\$4,380.00	\$4,380	
		New 4 rise steps	1	allow	\$960.00	\$960	
	5	Lift sidewalls & rails	1	allow	\$2,320.00	\$2,320	
D.		Interior Construction					
		New pair of uneven sized SCWD	1	allow	\$3,500.00	\$3,500	
		Repair wall at old door & stair locations	1	allow	\$1,720.00	\$1,720	
	3	New flooring		s.f.	\$5.00	\$375	
		a. Tactical warning at stair landing		s.f.	\$25.00	\$300	
		b. Stair nosing	4	each	\$75.00	\$300	
	4	Stairway rails	1	allow	\$500.00	\$500	
E.		Interior Finishes					
		Paint walls and rails	1	allow	\$860.00	\$860	
		Stain wood stairs and wainscot	1	allow	\$860.00	\$860	
	3	Signage allowance	1	allow	\$560.00	\$560	
		Subtotal					\$43,5
F.		General Requirements					
	1	General Conditions	10%		\$43,535	\$4,354	
		Contractor Overhead & Profit	8%		\$47,889	\$3,831	
	3	Contingency	15%		\$51,720	\$7,758	
		Total Construction Estimated Cost					\$59,4
		* Assume no structural modifications required in ins	tall lift				
HE2		Install a Elevator Addition for ADA Access		I	1		
A.	4	Demolition	•	lovala	#2 600 00	¢44.040	
		Remove stairs and landing		levels	\$3,680.00	\$11,040	
		Remove 2nd & 3rd floor walls and doors	2	each	\$920.00	\$1,840	
	3	First Floor Demo		l	000.00	***	
		a. Remove millwork		hours	\$90.00	\$360	
		b. Remove accordion partitions		hours	\$90.00	\$180	
		c. Remove plumbing fixtures & cap lines		each	\$368.00	\$1,104	
		d. Strip janitors closet		hours	\$90.00	\$360	
		e. Remove Classroom 104 walls and door		allow	\$3,080.00	\$3,080	
		Remove 1st floor slab for elevator pit		allow	\$3,880.00	\$3,880	
		Remove debris from Building	24	m.h.	\$92.00	\$2,208	
	6	Dumpsters	8	each	\$500.00	\$4,000	

District Accessibility Renovations Hatch Elementary School

Preliminary

350 West Ontario Street, Suite 200 Chicago, Illinois 60654

Client: Oak Park District 97
Architect: STR Partners # 13160

November 8, 2013

No.		Description	Quantity	Unit	Unit Price	Amount	Total
B.		Elevator pit & shaft					
	1	Cut SOG in tunnel and pour shaft footing	1	allow	\$4,600.00	\$4,600	
	2	8" CMU shaft walls for tunnel to 3rd floor	2,280	s.f.	\$12.00	\$27,360	
		a. Lintels and support clips	3	levels	\$500.00	\$1,500	
		b. Install elevator door frames	3	levels	\$184.00	\$552	
	3	Extend existing landing edge to shaft	3	each	\$1,200.00	\$3,600	
	4	1st Floor partition at Classroom 104	1	allow	\$2,660.00	\$2,660	
C.		Elevator Penthouse / Override					
	1	Strip roofing for access to structure					
	2	Frame and remove roof structure for penthouse	1	allow	\$8,320.00	\$8,320	
	3	Penthouse walls and roof framing	1	allow	\$5,840.00	\$5,840	
	4	Penthouse roof	1	allow	\$3,080.00	\$3,080	
D.		Custom elevator allowance	1	each	\$120,000	\$120,000	
E.		Interior Construction					
	1	Drywall furring on walls at elevator lobby	1,080	s.f.	\$6.00	\$6,480	
		Drywall ceiling in elevator lobby	324	s.f.	\$12.00	\$3,888	
		a. Soffit at ceiling joints	36	l.f.	\$40.00	\$1,440	
	3	Film over existing windows	3	each	\$3,000.00	\$9,000	
	4	Casework in Classroom 104	10	l.f.	\$450.00	\$4,500	
	5	Miscellaneous metal ladder & threshold	1	allow	\$1,200.00	\$1,200	
F.		Interior Finishes					
	1	Terrazzo flooring	324	s.f.	\$30.00	\$9,720	
		a. Patch & level floor at 1st fl. Toilet rooms	1	allow	\$920.00	\$920	
	2	Paint drywall	1,200	s.f.	\$1.00	\$1,200	
	3	Paint ceiling	324	s.f.	\$1.75	\$567	
G.		HVAC Modification					
	1	Heating & exhaust for elevator equipment room	1	allow	\$4,000.00	\$4,000	
	2	Modify existing cabinet heater in shaft	1	allow	\$1,220.00	\$1,220	
	_	Elevator shaft exhaust	1	allow	\$1,500.00	\$1,500	
Н.		Electrical					
	1	Power to elevator					
		a. Modify existing switchgear or MDP	1	allow	\$20,000	\$20,000	
	_	b. New panels	1	allow	\$8,000.00	\$8,000	
		c. Final connections, trim out, and testing		allow	\$2,000.00	\$2,000	
	_	Revise lighting for elevator lobby	3	each	1,640.00	\$4,920	
		Remove lighting and electrical device in shaft	1	allow	380.00	\$380	
		Lighting and convenience power in equipment roon	1	each	1,260.00	\$1,260	
I.		Fire Alarm & Communication Connections	1	allow	\$2,720.00	\$2,720	
		Subtotal					\$290,47
J.		General Requirements					,
	1	General Conditions	10%		\$290,479	\$29,048	
		Contractor Overhead & Profit	8%		\$319,527	\$25,562	
		Contingency	15%	-	\$345,089	\$51,763	
		Total Construction Estimated Cost		t	†		\$396,8

Page 11 OakParkDist-ADA-1.xls

IRVING ELEMENTARY

SUMMARY

There is a platform lift that provides accessible entry into the Multi-Purpose Room from the interior. However, there is no accessible egress exit from the Multi-Purpose Room. This is the only AAC-identified problem at this facility.

IR1: MULTIPURPOSE ROOM EXIT RAMP

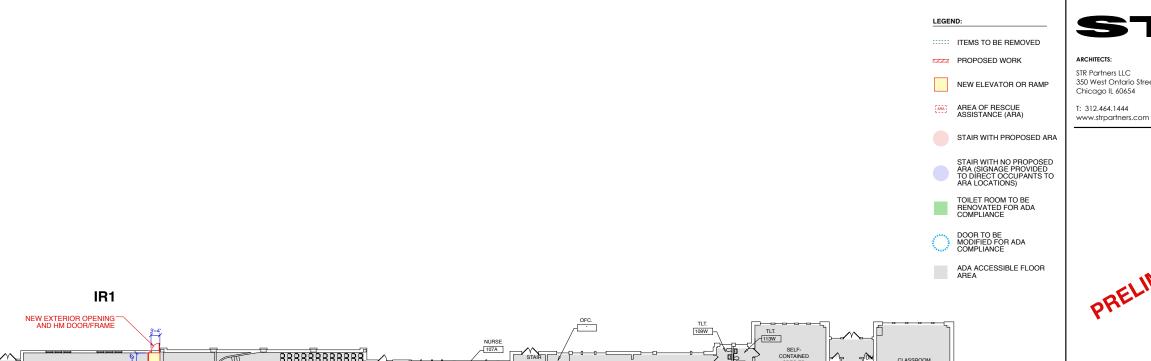
The AAC proposal has suggested the stairs at the removing the stairs leading up to the west exterior exit as well as the exterior ramp so that a shorter ramp could be constructed to grade level from the Multi-Purpose Room. However, the interior floor elevation at this west exit cannot be altered in order to maintain egress for the classrooms south of the Multi-Purpose Room. Consequently, there is not enough space to install the required length of ramp to reach the first floor level.

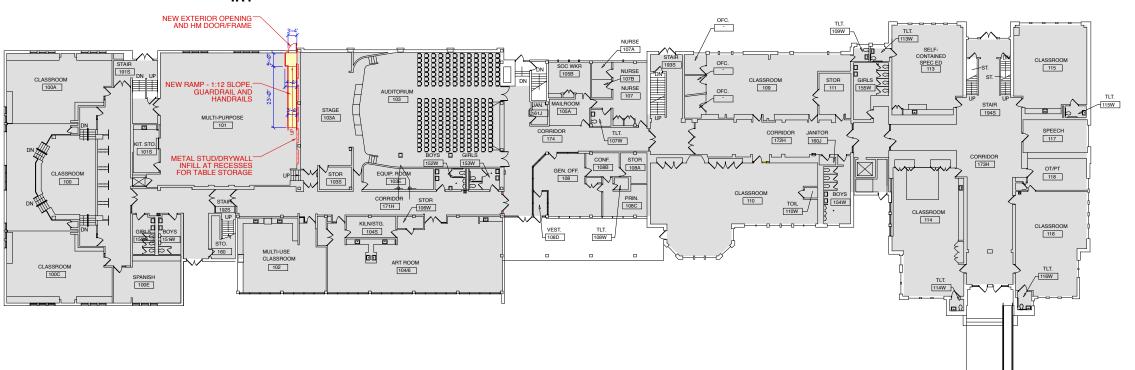
Therefore, STR has suggested locating a ramp along the north wall of the Multi-Purpose Room. This ramp location will exit at grade; therefore, it requires less rise than the west exit. The exit door however will require cutting into the existing foundation wall.

ADDITIONAL COMMENTS

Because this school has an existing elevator for vertical accessibility, the AAC report did not address the issue of accessible door openings, toilet room stalls, or ARA locations. STR recommends, however, that these items be reviewed to ensure the District's goals for accessibility at all facilities is being met.

END OF IRVING





FIRST FLOOR PLAN SCALE: 1/16" = 1'-0"



SCOPE DOCUMENT

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D97 ACCESSIBILITY STUDY IRVING ELEMENTARY

OAK PARK SCHOOL **DISTRICT 97**

STR PROJECT NUMBER

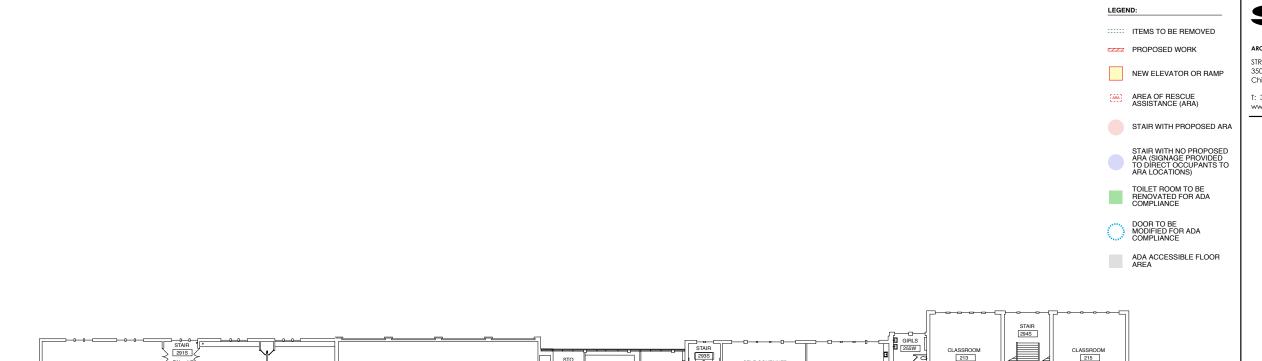
DRAWING DATES
NUMBER DATE

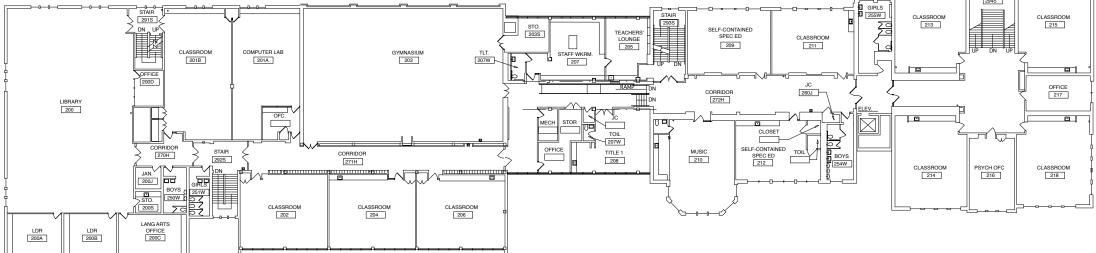
• 1 11/14/13

DRAWING TITLE FIRST FLOOR PLAN

SHEET NUMBER

IR.1





SECOND FLOOR PLAN SCALE: 1/16" = 1'-0"





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www.strpartners.com

SCOPE DOCUMENT

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D97 ACCESSIBILITY STUDY IRVING ELEMENTARY

OAK PARK SCHOOL **DISTRICT 97**

STR PROJECT NUMBER

DRAWING DATES
NUMBER DATE

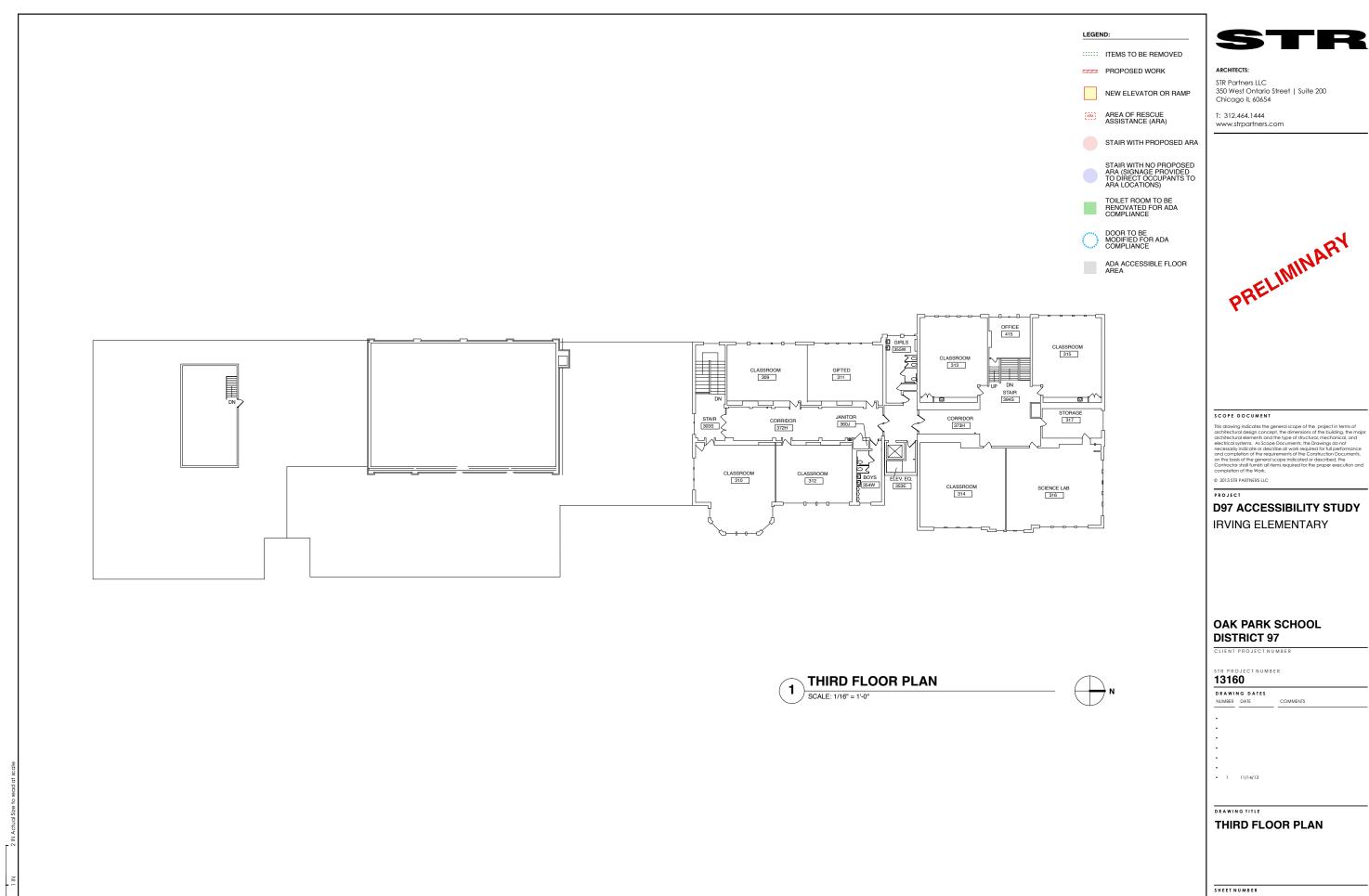
• 1 11/14/13

DRAWING TITLE

SECOND FLOOR PLAN

SHEET NUMBER

IR.2



IR.3

District Accessibility Renovations Irving Elementary School

Preliminary

350 West Ontario Street, Suite 200 Chicago, Illinois 60654

Client: Oak Park District 97
Architect: STR Partners # 13160

No.		Description	Quantity	Unit	Unit Price	Amount	Total
154							
IE1		Provide Exterior ADA Access to Multi-purpose	Room #10)1			
Α.		Selective Demolition	_			2.72	
		Remove folding tables in recesses		each	\$90.00	\$450	
	2	Prep stair and floor for new ramp	1	allow	\$936.00	\$936	
B.		Protection					
		Barricade and fencing	60	l.f.	\$25.00	\$1,500	
	1	Maintenance and removal of protection	16	hours	\$90.00	\$1,440	
C.		Cut Exterior Doorway in Masonry Wall					
	1	Cut & remove exterior brick wall and install lintel					
		a. Mason (2 men for one day)	16	hours	\$92.00	\$1,472	
		b. Laborer (2 men for one day)	16	hours	\$87.00	\$1,392	
		c. Lintel	5	l.f.	\$150.00	\$750	
		d. Masonry material	1	allow	\$500.00	\$500	
	2	Cut existing foundation wall for door threshold					
		a. Cement masons (2 men for one day)	16	hours	\$92.00	\$1,472	
		b. Saws, jack hammer, and small tools	1	allow	\$500.00	\$500	
	3	Deposal of excavated material	1	loads	\$500.00	\$500	
D.		Interior Carpentry					
	1	Infill folding table recesses	5	each	\$560.00	\$2,800	
		Repair interior wall finishes at new door way	1	allow	\$740.00	\$740	
E.		Concrete Ramp and Landing				·	
	1	Ramp slab with formcore fill	81	s.f.	\$35.00	\$2,818	
		Landing with formcore fill	1	s.f.	\$35.00	\$788	
		Exposed ramp wall			Ţ-	7.55	
		a. Ramp	23	s.f.	\$75.00	\$1,725	
		b. Landing walls	12	s.f.	\$75.00	\$900	
		c. Epoxy dowels into existing Slab	15	each	\$150.00	\$2,250	
F.		Miscellaneous Metals	10	Cuon	Ψ100.00	Ψ2,200	
	1	Free standing	30	l.f.	\$200.00	\$6,000	
	2	Wall mounted	25		\$75.00	\$1,875	
G.		Painting	25	1.1.	\$75.00	\$1,075	
О.	1		1	allow	\$640.00	\$640	
		Allowance for painting rails					
		Paint existing walls Paint HM door and frame	1,160		\$1.00	\$1,160	
	<u>ა</u>		1	allow	\$85.00	\$85	
Н.	_	Electrical	4		#500.00	# 500	
		Exit sign	1	each	\$500.00	\$500	
		Revised lighting	1	ollov:	¢1 260 00	None \$1,260	
	3	FA devices (pulls, horn & strobes)	1	allow	\$1,260.00	\$1,260	** .
		Subtotal Construction					\$34,4
I.		General Requirements				4	
	1	General Conditions	10%		\$34,452	\$3,445	
		Contractor Overhead & Profit	8%		\$37,897	\$3,032	
	3	Contingency	15%		\$40,929	\$6,139	
		Total Construction Estimated Cost					\$47,0

LINCOLN ELEMENTARY

SUMMARY

At the first floor, the stage is not accessible and the auditorium is only accessible from the exterior of the building via a ramp. At the second floor, a short set of stairs prevents direct accessible circulation to all spaces at this level.

STR has combined the solutions for the stage and auditorium access into one. While the AAC proposal suggests a lift be located at the front of the stage, we made a conscious attempt to avoid this. We have provided lifts in this location for other clients in the past, but have found that they tend to remove them later due to the visual obstruction to the performances on the stage.

The third floor remains inaccessible without the addition of a second elevator.

LI1 and LI2: MULTIPURPOSE ROOM EXIT RAMP

To achieve access to the auditorium, the AAC suggested a small addition to provide an enclosed ramped corridor to the west of the auditorium. STR has expanded this idea to include access to the stage as well utilizing stairs as well as a platform lift. We propose to demolish the existing Janitor's Office and exterior storage rooms to create this corridor. Both spaces have been relocated as part of the addition. In addition, we are able to provide storage for those who use the stage/auditorium on a regular basis, or for general building storage.

LI3: 2nd FLOOR CORRIDOR RAMP

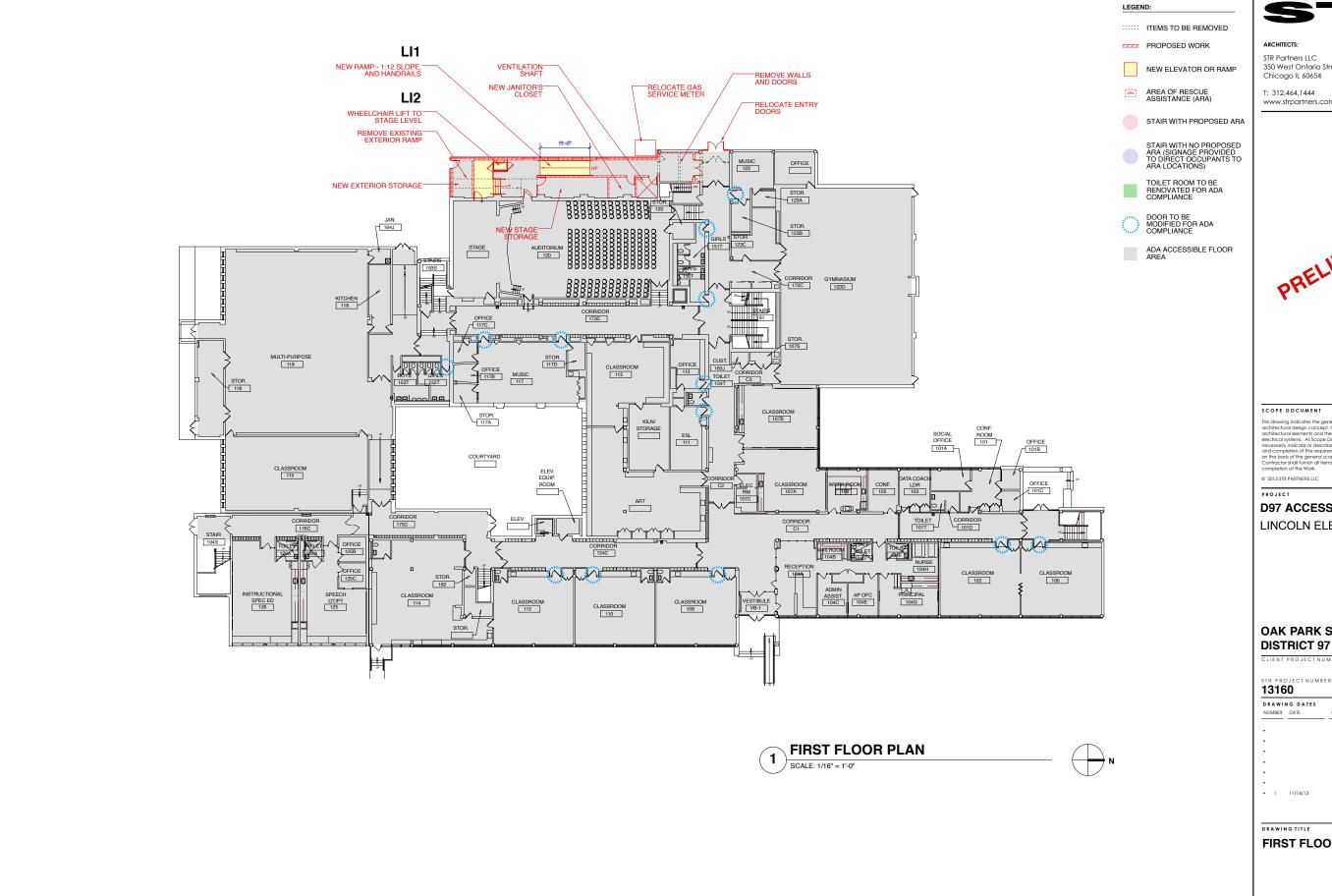
A short set of stairs shall be removed and a full width corridor ramp shall be installed to provide direct accessible circulation to all areas of the second floor.

ADDITIONAL COMMENTS

Because this school has an existing elevator for vertical accessibility, the AAC report did not address the issue of accessible door openings, toilet room stalls, or ARA locations. STR recommends, however, that these items be reviewed to ensure the District's goals for accessibility at all facilities is being met.

We were able to observe the door opening conditions at this facility and have marked those doors that are not currently accessible.

END OF LINCOLN



STR Partners LLC 350 West Ontario Street | Suite 200

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D97 ACCESSIBILITY STUDY LINCOLN ELEMENTARY

OAK PARK SCHOOL **DISTRICT 97**

FIRST FLOOR PLAN

S H E E T N U M B E R

LI.1





STR Partners LLC 350 West Ontario Street | Suite 200

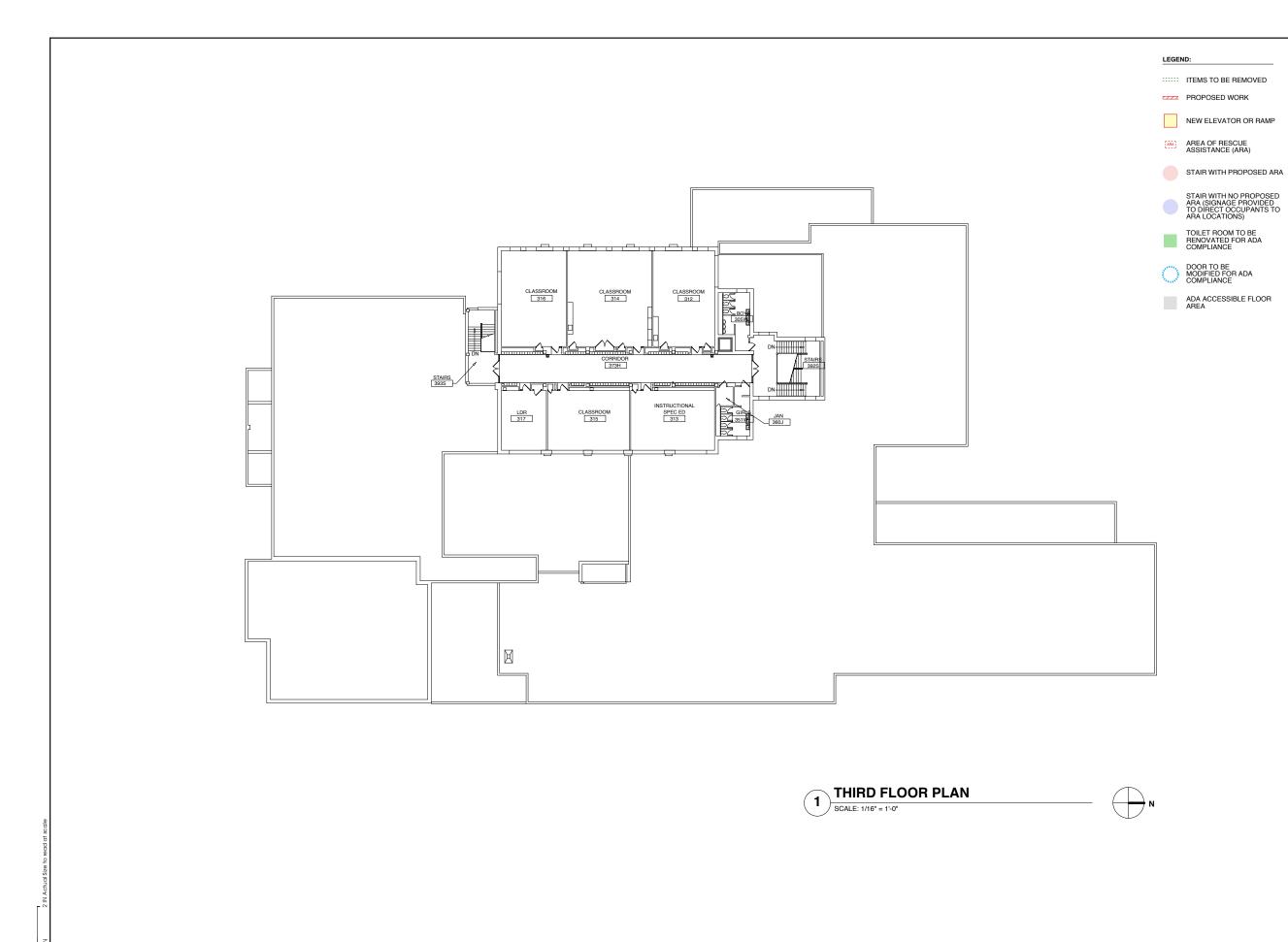
D97 ACCESSIBILITY STUDY LINCOLN ELEMENTARY

OAK PARK SCHOOL

SECOND FLOOR PLAN

S H E E T N U M B E R

LI.2





STR Partners LLC 350 West Ontario Street | Suite 200 Chicago IL 60654

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SCOPE DOCUMENT

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D97 ACCESSIBILITY STUDY LINCOLN ELEMENTARY

OAK PARK SCHOOL **DISTRICT 97**

STR PROJECT NUMBER

DRAWING DATES
NUMBER DATE

• 1 11/14/13

DRAWING TITLE

THIRD FLOOR PLAN

SHEET NUMBER

LI.3

District Accessibility Renovations Lincoln Elementary School

Preliminary

350 West Ontario Street, Suite 200 Chicago, Illinois 60654

Client: Oak Park District 97 Architect: STR Partners # 13160

No.	Description	Quantity	Unit	Unit Price	Amount	Total
1 14 0 0	Estados ADA Acada Barra ta Auditarian					
LI1&2	Exterior ADA Access Ramp to Auditorium.					
Α.	Site Work	1	l	#50.000	# 50.000	
1	g gar connection	1	allow	\$50,000	\$50,000	
	Remove exterior concrete stairs		s.f.	\$20.00	\$4,620	
	Remove wall mounted devices	2	hours	\$90.00	\$180	
	Remove paving	2,500	s.f.	\$4.00	\$10,000	
B.	Selective Demolition					
1		4	hours	\$90.00	\$360	
	Remove soffit & overhand	21	l.f.	\$50.00	\$1,050	
	Remove masonry walls	33	l.f.	\$20.00	\$660	
	Remove doors	3	leafs	\$120.00	\$360	
C.	Protection					
1	Barricade and fencing	200	l.f.	\$10.00	\$2,000	
	Maintenance and removal of protection	40	hours	\$90.00	\$3,600	
D.	Excavation and Concrete	1				
1	Clean and compact foot print	2,500	s.f.	\$2.00	\$5,000	
2	Excavation for footing	103	c.y.	\$20.00	\$2,062	
3	Disposal of debris	4	loads	\$500.00	\$2,000	
4	Footing	13	c.y.	\$250.00	\$3,194	
5	Foundation 12" thick	17	c.y.	\$400.00	\$6,874	
6	Slab on grade	1,200	s.f.	\$5.00	\$6,000	
7	Ramp slab	174	s.f.	\$8.00	\$1,392	
8	Patch interior SOG will masonry walls removed	33	l.f.	\$35.00	\$1,155	
	Interior foundation for ramp and stage platform	35	l.f.	\$125.00	\$4,375	
	Concrete step to stage platform	4	raiser	\$250.00	\$1,000	
D.	Masonry					
1	Infill stairway door & New CMU wall	1	allow	\$2,592.00	\$2,592	
	Exterior brick cavity walls - Bearing	2,320	s.f.	\$50.00	\$116,000	
	a. Allowance for ornamental masonry	10%		\$116,000	\$11,600	
3	New 8" CMU walls in addition	1,050		\$14.00	\$14,700	
4		1	allow	\$1,276.00	\$1,276	
E.	Roof structure	400		\$30.00	\$12.000	
 F.	Roofing	1.00		750.00	ψ·Ξ,000	
1	Single ply roof with insulation	400	s.f.	\$18.00	\$7,200	
2	Connection to existing building	_	l.f.	\$65.00	\$4,355	
	Repair existing roof and fascia	1	allow	\$2,000.00	\$2,000	
G.	Windows and Doors	+ '	anow	Ψ2,000.00	Ψ2,000	
 		1	each	\$1,940.00	\$1,940	
-	New exterior windows	4	each	\$836.00	\$3,344	
	New exterior windows New interior HM door & frame		each	\$1,200.00	\$3,600	
	New exterior HM door & frame	2	allow	\$1,200.00	\$2,600	
	New exterior nivi door & frame New interior pair of doors	1		\$2,800.00	\$2,800	
	Replace existing HM door to Auditorium 120		pair	\$2,800.00		
	Treplace existing this door to Additionally 120	1	each	φ1,000.00	\$1,800	
		1				
		+		+		

District Accessibility Renovations Lincoln Elementary School

Preliminary

350 West Ontario Street, Suite 200 Chicago, Illinois 60654

Client: Oak Park District 97 Architect: STR Partners # 13160

No.		Description	Quantity	Unit	Unit Price	Amount	Total
140.		Bescription	Quantity	Onit	Office field	Amount	Total
LI1&2	:	Exterior ADA Access Ramp to Auditorium.					
Н.		Interior Construction					
- 11.	1	Rated drywall partitions				None	
		Sills and trim at exterior window	4	each	\$480.00	\$1,920	
		Repair jamb opening at new door to stage	1	location		\$460	
		2x4 ACT ceiling	1,200	s.f.	\$3.75	\$4,500	
l.	J	Miscellaneous Metals	1,200	5.1.	ψ3.73	φ4,500	
	1	Free standing	14	l.f.	\$225.00	\$3,150	
		Wall mounted		l.f.	\$75.00	\$3,150	
		Stage lift	1	each	\$23,000	\$23,000	
J. K.			!	each	\$23,000	\$23,000	
n.	1	Painting Allowance for pointing rolls	1	allow	\$020.00	#020	
		Allowance for painting rails	1 220	allow	\$820.00	\$820	
		Clean existing brick walls		s.f.	\$2.00	\$2,640	
		Paint HM door and frame		leafs	\$120.00	\$960	
		Paint CMU walls		s.f.	\$1.10	\$5,033	
	6	Miscellaneous painting & chalking	1	allow	\$800.00	\$800	
K.		HVAC					
		Roof Top Zoned System		s.f.	\$28.00	\$33,600	
	2	Exhaust system	1	allow	\$1,500.00	\$1,500	
L.		Electrical					
	1	Exit sign		each	\$500.00	\$2,000	
	2	Lighting	1,200	s.f.	\$6.00	\$7,200	
	3	FA devices (pulls, horn & strobes)	2	allow	\$1,260.00	\$2,520	
	4	Outlets and power	1	allow	\$2,520.00	\$2,520	
	5	Power to stage lift					
		a. Conduit and wire	200	l.f.	\$25.00	\$5,000	
		b. New breaker in existing panel	1	allow	\$1,200.00	\$1,200	
		c. Final connections, trim out, and testing	1	allow	\$960.00	\$960	
M.		Plumbing					
	1	Roof drains and downspouts	4	each	\$800.00	\$3,200	
	2	Janitor's slop sink	1	allow	\$2,500.00	\$2,500	
N.		Restore paving and site	1	allow	\$9,600.00	\$9,600	
		Subtotal Construction					\$411,9
Ο.		General Requirements					•
	1	General Conditions	10%		\$411,922	\$41,192	
	2	Contractor Overhead & Profit	8%		\$453,114	\$36,249	
	3	Contingency	15%		\$489,364	\$73,405	
		Total Construction Estimated Cost	1,200	s.f.	\$468.97		\$562,7
			,				, , -

District Accessibility Renovations Lincoln Elementary School

Preliminary

350 West Ontario Street, Suite 200 Chicago, Illinois 60654

Client: Oak Park District 97
Architect: STR Partners # 13160

No.		Description	Quantity	Unit	Unit Price	Amount	Total			
		·								
LI3		Remove Stairs and Provide ADA Ramp at Secon	nd Floor C	orrido	r					
A.		Selective Demolition								
	1	Remove existing handrails	1	hours	\$90.00	\$90				
	2	Remove existing flooring & demo steps	1	allow	\$1,840.00	\$1,840				
	3	Remove 1st Floor ceilings & lighting	261	s.f.	\$2.00	\$522				
	4	Remove floor structure			See	Structural Below				
	5	Deposal of material	2	loads	\$500.00	\$1,000				
B.		Protection								
	1	Barricade and fencing (2nd & 1st Floors)	32	l.f.	\$25.00	\$800				
		Maintenance and removal of protection	16	hours	\$85.00	\$1,360				
C.		Structural work								
	1	Remove concrete floor structural	1	allow	\$3,380.00	\$3,380				
	2	Deposal of concrete material	4	loads	\$500.00	\$2,000				
		New steel floor structure	1	allow	\$9,360.00	\$9,360				
	4	Ramp deck	261	s.f.	\$35.00	\$9,135				
D.		Interior Construction								
	1	First floor ceiling	261	s.f.	\$10.00	\$2,610				
	2	Replace wall surfaces at ramp	504	s.f.	\$7.00	\$3,528				
	3	Hand rails				Not Required				
E.		Interior Finishes								
	1	New flooring	261	s.f.	\$5.00	\$1,305				
	2	New wall base	42	l.f.	\$4.00	\$168				
	3	Paint walls	1,080	s.f.	\$1.50	\$1,620				
F.		Electrical	•							
	1	Reinstall first floor lighting	261	s.f.	\$7.00	\$1,827				
		Fire alarm and exit devices	1	allow	\$1,260.00	\$1,260				
G.		Allowance for Mechanical & Plumbing conflicts	261	s.f.	\$15.00	\$3,915				
		Subtotal					\$45,72			
						=======================================				
		Subtotal Construction					\$45,72			
Н.		General Requirements								
	1	General Conditions	10%		\$45,720	\$4,572				
		Contractor Overhead & Profit	8%		\$50,292	\$4,023				
	3	Mobilization, Temp Protection, Non-productive Lab	15%		\$54,315	\$8,147				
		Total Construction Estimated Cost					\$62,46			
		The following items are excluded from this estimate - FF&E Work								
		- Special Consultant Fees - Special hoisting or restricted site access								
		- Legal Fees - Premium time and overtime labor rates								
		- Utility Company Service Fees	- Hazardous Waste Handling							
		- A/E or Design Fees	- Escalation							
					1					

LONGFELLOW ELEMENTARY

SUMMARY

The various additions to this building overtime have created a significant challenge in creating a facility that is totally accessible. At each floor, the southwest corner is lower than the rest of the building. Additionally, navigating stairs is necessary to access the west portion of the building at the 2nd and 3rd floors. Due to the rather significant elevation change between levels, ramps are not able to achieve accessibility to the southwest corner.

As alluded to in the AAC proposal, Classroom 113 is only accessed from the extreme southwest stairwell. The only accessible route from the corridor, should an elevator be implemented, is through the Art Room, through the Kiln and into Room 113 and back the same way. It is a code violation to exit from one space through another. We recommend reviewing this condition should an elevator be installed to improve the safety of this egress route.

LO1: VERTICAL ACCESS - ELEVATOR

The AAC report has suggested a multiple stop elevator located between the southwest corner and the main building to access the various levels. This appears to be the only viable location for an elevator to access all levels. We have attempted to locate the elevator in such a way to avoid what appear to be structural members as well as concealed chases; but without existing building documents, we are not able to confirm at this time. However, the third floor will require somewhat extensive relocation of HVAC equipment and piping that is located at the ceiling of the janitor space.

The elevator has 6-stops that utilizes two doors at front and back of the cab to travel between the various levels. So there are 2 stops per floor to access the southwest corner. At the 3rd floor, it is necessary to construct an enclosed ramped corridor at the roof to access the east wing. (Please note that, given the two levels of the existing roof at this area, additional investigation is necessary to determine the constructability of this roof level corridor.)

Potential Option: It is also possible to locate an elevator within the courtyard to access the 3 floors of the main building. With ramps installed at the north and south corridors of the courtyard on the 2nd and 3rd floors, all floors will be accessible with the exception of the southwest corner at each level. A rooftop enclosed corridor will also be required for this option, but on a much smaller scale.

LO2: 2nd FLOOR CORRIDOR RAMPS

A short set of stairs at the north and south corridors of the courtyard at the 2nd floor shall be removed. At the south corridor, we propose a full width ramp. At the north corridor, due to entry door locations, a full width ramp is not possible. Therefore, we are proposing removing a portion of the existing stairs to accommodate a 6ft wide ramp along the south corridor wall. Both ramp locations will require the relocation of lockers.

LO3: AREAS OF RESCUE ASSISTANCE – 2nd and 3rd FLOORS

As a result of adding vertical accessibility, it will be necessary to provide area of rescue assistance and associated signage for egress. We have identified locations at the 2nd and 3rd floors for this purpose.

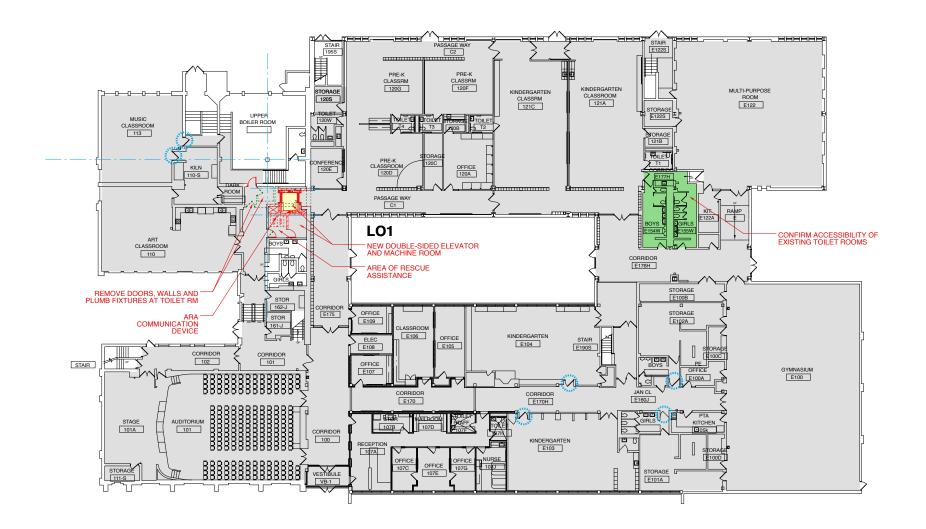
LO4: CLASSROOM DOOR ADA RENOVATIONS

With the implementation of the elevator, there is now a large portion of the building that becomes accessible that previously was not. Consequently, there are several doorways that do not meet the required clearances for accessibility. We have attempted to identify the doors we believe will require adjustment in order to meet ADA regulations. However, with varying existing conditions, each opening has its own challenge. In many cases, to meet the letter of the code, intensive deconstruction is required. We believe that a solution for this condition will take in depth discussion with FAC and the District to determine what is in the best interest of the District as well as the users. Therefore, at this time, we have not provided a cost estimate for door opening renovation work.

LO5: TOILET ROOM ADA RENOVATIONS

With the implementation of the elevator, there is now a large portion of the building that becomes accessible that previously was not. Consequently, there are toilet rooms that do not have accessible stalls or sinks or even entrances. Additionally, accessible drinking fountains are absent from most if not all newly accessible areas. We have suggested as part of this report locations for toilet room renovations to accommodate disabled users. At this time, we are recommending working with FAC and with the District to determine a philosophy to guide this scope through all facilities. Therefore, at this time, we have not provided a cost estimate for toilet renovation work.

END OF LONGFELLOW



1 FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"



STR

ARCHITECTS:

LEGEND:

PROPOSED WORK

NEW ELEVATOR OR RAMP

STAIR WITH PROPOSED ARA

STAIR WITH NO PROPOSED ARA (SIGNAGE PROVIDED TO DIRECT OCCUPANTS TO ARA LOCATIONS)

TOILET ROOM TO BE RENOVATED FOR ADA COMPLIANCE

DOOR TO BE MODIFIED FOR ADA COMPLIANCE

ADA ACCESSIBLE FLOOR AREA STR Partners LLC 350 West Ontario Street | Suite 200 Chicago IL 60654

T: 312.464.1444 www.strpartners.com



SCOPE DOCUMENT

Indicationing inaccrase me general scape or the project in method and contribution of the design scane of the third scale of the contribution of the design scane of the proper district of the mechanical selectrical systems. As Scope Documents, the Drawings do not necessarily indicate or described all wark required for full performan and completion of the requirements of the Construction Documen on the basis of the general scope indicated or described, the Controctor shall furnish all items required for the proper execution completion of the Work.

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PROJECT

D97 ACCESSIBILITY STUDYLONGFELLOW ELEMENTARY

OAK PARK SCHOOL DISTRICT 97

STR PROJECT NUMBER

DRAWING DATES NUMBER DATE

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• 1 11/14/13

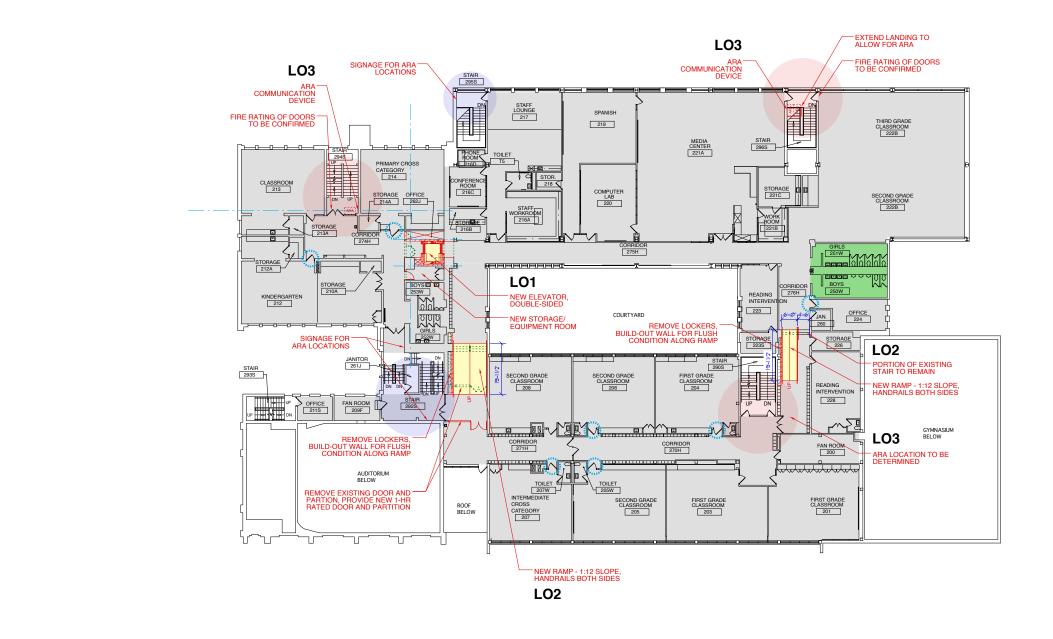
DRAWING TITLE

FIRST FLOOR PLAN

SHEET NUMBER

LO.1

2 IN Actual Size to read at scal



SECOND FLOOR PLAN SCALE: 1/16" = 1'-0"



LEGEND:

:::::: ITEMS TO BE REMOVED PROPOSED WORK

NEW ELEVATOR OR RAMP

STAIR WITH PROPOSED ARA

TOILET ROOM TO BE RENOVATED FOR ADA COMPLIANCE

DOOR TO BE MODIFIED FOR ADA COMPLIANCE

ADA ACCESSIBLE FLOOR AREA

STAIR WITH NO PROPOSED ARA (SIGNAGE PROVIDED TO DIRECT OCCUPANTS TO ARA LOCATIONS)

STR Partners LLC 350 West Ontario Street | Suite 200 Chicago IL 60654

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SCOPE DOCUMENT

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D97 ACCESSIBILITY STUDY LONGFELLOW ELEMENTARY

OAK PARK SCHOOL **DISTRICT 97**

STR PROJECT NUMBER

DRAWING DATES
NUMBER DATE

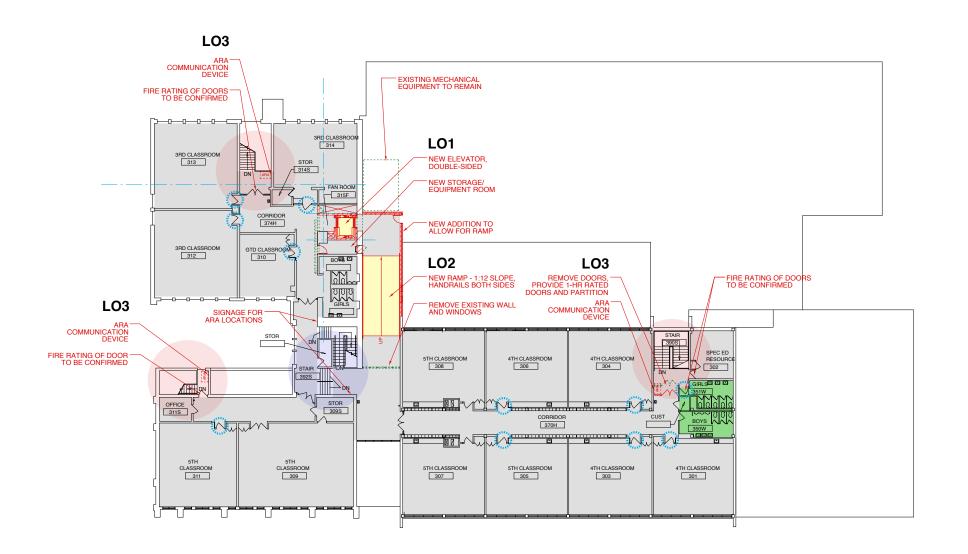
• 1 11/14/13

DRAWING TITLE

SECOND FLOOR PLAN

S H E E T N U M B E R

LO.2



THIRD FLOOR PLAN



LEGEND:

:::::: ITEMS TO BE REMOVED PROPOSED WORK

NEW ELEVATOR OR RAMP

STAIR WITH PROPOSED ARA

TOILET ROOM TO BE RENOVATED FOR ADA COMPLIANCE

DOOR TO BE MODIFIED FOR ADA COMPLIANCE

ADA ACCESSIBLE FLOOR AREA

STAIR WITH NO PROPOSED ARA (SIGNAGE PROVIDED TO DIRECT OCCUPANTS TO ARA LOCATIONS)

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D97 ACCESSIBILITY STUDY LONGFELLOW ELEMENTARY

OAK PARK SCHOOL **DISTRICT 97**

STR PROJECT NUMBER

DRAWING DATES
NUMBER DATE

• 1 11/14/13

DRAWING TITLE

THIRD FLOOR PLAN

SHEET NUMBER

LO.3

District Accessibility Renovations Longfellow Elementary School

Preliminary

350 West Ontario Street, Suite 200 Chicago, Illinois 60654

Client: Oak Park District 97
Architect: STR Partners # 13160

		STR Partners # 13160	Ougatity	Linit	Unit Price		ovember 8, 2
No.		Description	Quantity	Unit	Unit Price	Amount	Total
LO1		Install a Elevator Addition for ADA Access					
A.		Demolition					
Λ.	1	a. Remove doors	8	each	\$180.00	\$1,440	
		b. Remove partitions	68	l.f.	\$15.00	\$1,020	
		c. Remove lockers		each	\$100.00	\$2,000	
		d. Remove plumbing fixtures & cap lines		- Cuon	\$100.00	None	
		e. Remove ceiling and lighting	900	s.f.	\$2.00	\$1,800	
		f Strip flooring (assume VCT)	900		\$1.00	\$900	
		g. Remove casework 2nd floor		0.11	ψ1.00	None	
		i. Remove HVAC & electrical	900	s.f.	\$5.00	\$4,500	
В.		Elevator pit & shaft		0.11	ψο.σσ	ψ1,000	
	1	Cut SOG in and pour shaft footing	1	allow	\$4,600.00	\$4,600	
		8" CMU shaft walls for 1st to 3rd floor	•	s.f.	\$12.00	\$20,520	
	_	a. Lintels and support clips	3	levels	\$500.00	\$1,500	
		b. Install elevator door frames	3	levels	\$184.00	\$552	
	_	Remove structural floor for elevator shaft opening				·	
	3	and frame opening	3	each	\$8,320.00	\$24,960	
		Cut opening in 24' masonry walls	3	each	\$4,008.00	\$12,024	
	5	Infill old roof access door opening	1	each	\$1,972.00	\$1,972	
C.		Elevator Penthouse / Override					
	1	Strip roofing for access to structure	1	allow	\$1,280.00	\$1,280	
	2	Frame and remove roof structure for penthouse	1	allow	\$8,320.00	\$8,320	
	3	Penthouse walls and roof framing	1	allow	\$5,840.00	\$5,840	
	4	Penthouse roof	1	allow	\$3,080.00	\$3,080	
D.		Custom elevator allowance	1	each	\$120,000	\$120,000	
E.		Interior Construction					
	1	Drywall walls at elevator lobby	900	s.f.	\$6.00	\$5,400	
	2	Drywall ceiling in elevator lobby	900	s.f.	\$12.00	\$10,800	
		a. Soffit at ceiling joints - allowance	36	l.f.	\$40.00	\$1,440	
	3	Miscellaneous metal ladder & threshold	1	allow	\$1,200.00	\$1,200	
	4	SWCD doors & HM frames	5	each	\$1,200.00	\$6,000	
F.		Interior Finishes					
	1	Flooring allowance	900	s.f.	\$8.00	\$7,200	
		a. Patch & level floor	900		\$2.00	\$1,800	
	2	Paint drywall	3	floors	\$1,640.00	\$4,920	
	3	Paint ceiling	900	s.f.	\$1.75	\$1,575	
G.		HVAC Modification					
	1	Heating & exhaust for elevator equipment room	1	allow	\$4,000.00	\$4,000	
	2	Modify existing cabinet heater in shaft	1	allow	\$1,220.00	\$1,220	
	3	Elevator shaft exhaust	1	allow	\$1,500.00	\$1,500	
	4	Modify existing system - allowance	900	s.f.	\$25.00	\$22,500	

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District Accessibility Renovations Longfellow Elementary School

Preliminary

350 West Ontario Street, Suite 200 Chicago, Illinois 60654

Client: Oak Park District 97 Architect: STR Partners # 13160

No.	Description	Quantity	Unit	Unit Price	Amount	Total
110.	Beschpton	Quantity	Ornic	Office Floor	Timount	Total
Н.	Electrical					
11	Power to elevator					
<u>'</u>	a. Modify existing switchgear or MDP	1	allow	\$20,000	\$20,000	
	b. New panels	1	allow	\$8,000.00	\$8,000	
	c. Final connections, trim out, and testing	1	allow	\$2,000.00	\$2,000	
2	Revise lighting for elevator lobby		s.f.	8.00	\$7,200	
	Remove lighting and electrical device in shaft	900		380.00	\$380	
	1	•	allow	1,260.00		
	Lighting and convenience power in equipment roon Fire Alarm & Communication Connections	1	each allow	\$2,720.00	\$1,260 \$2,720	
		1	allow	\$2,720.00	\$2,720	
J.	Roof Top Corridor and Ramp	4.000		£4.00	£4.000	
1	Strip existing roofing		s.f.	\$4.00	\$4,000	
	Reinforce roof structure		s.f.	\$25.00	\$25,000	
	a. Remove 2nd floor ceiling to expose structure		s.f.	\$2.00	\$2,000	
	b. Reinstall ceiling and lighting		s.f.	\$12.00	\$12,000	
	Remove wall and windows	1 000	allow	\$1,280.00	\$1,280	
4			s.f.	\$50.00	\$60,000	
	Window allowance	2	each	\$2,000.00	\$4,000	
	Roof access door	1	allow	\$1,200.00	\$1,200	
7	Roof structure	1,000	s.f.	\$25.00	\$25,000	
	Roof		s.f.	\$18.00	\$18,000	
	Ramp structure		s.f.	\$35.00	\$35,000	
	Connections to existing	90	l.f.	\$150.00	\$13,500	
11	Interior finishes					
	a. Ceiling		s.f.	\$3.75	\$3,750	
	b. Flooring		s.f.	\$6.00	\$6,000	
	c. Clean brick walls		s.f.	\$1.25	\$1,688	
	d. Paint walls		s.f.	\$1.00	\$720	
	HVAC System - allowance	1,000	s.f.	\$28.00	\$28,000	
13	Plumbing					
	Roof drainage	1,000	s.f.	\$8.00	\$8,000	
14	Electrical					
	a.Lighting	1,000	s.f.	\$8.00	\$8,000	
	b. Power and Outlets	1,000	s.f.	\$6.00	\$6,000	
	c. Fire Alarm & Communication Connections	1,000	s.f.	\$3.00	\$3,000	
	Subtotal					\$593,50
J.	General Requirements					
1	General Conditions	10%		\$593,561	\$59,356	
2	Contractor Overhead & Profit	8%		\$652,917	\$52,233	
3	Contingency	15%		\$705,150	\$105,772	
	Total Construction Estimated Cost					\$810,92
						-

District Accessibility Renovations Longfellow Elementary School

Preliminary

350 West Ontario Street, Suite 200 Chicago, Illinois 60654

Client: Oak Park District 97 Architect: STR Partners # 13160

No.		Description	Quantity	Unit	Unit Price	Amount	Total
140.		Везеприоп	Quartity	OTILL	Office Fried	Autodit	Total
LO2		Remove Stairs and Provide ADA Ramp at Seco	nd Floor (Corrido	r		
LOZ		Remove 1/2 of stairway for ramp. 1/2 stairway				nd lockers	
Α.		Selective Demolition	lo remain	101 100	lii access a	ilu lockers.	
А.	1	Remove existing handrails	1	hours	\$90.00	\$90	
		Remove lockers	26	each	\$45.00	\$1,170	
	_	Remove corridor wall and door near stair 292S		l.f.	\$20.00	\$300	
		Remove existing flooring	370		\$20.00	\$300 \$740	
		Remove 1st Floor ceilings & lighting	370	5.1.	φ2.00	Not Required	
		Remove floor structure				Not Required	
			1	loads	\$500.00	\$500	
D	S	Deposal of material Protection	1	loaus	\$500.00	\$500	
В.	1		52	l f	\$25.00	¢1 200	
		Barricade and fencing (2nd & 1st Floors)			1	\$1,300	
C.	1	Maintenance and removal of protection Structural work	10	hours	\$85.00	\$1,360	
<u> </u>	1					Not Deguired	
		Remove concrete floor structural				Not Required	
		Deposal of concrete material				Not Required	
		New steel floor structure	270		ФОГ ОО	Not Required	
	4	Ramp deck	370	S.T.	\$35.00	\$12,950	
D.	_	Interior Construction				Not Dominod	
		First floor ceiling	070	- 6	67.00	Not Required	
	_	Replace wall surfaces at old locker locations	276	s.f.	\$7.00	\$1,932	
	3	Hand rails	00	1.6	0050.00	#0.F00	
		a. Free standing		l.f.	\$250.00	\$6,500	
	_	b. Wall mounted		l.f.	\$75.00	\$4,725	
		Replacement corridor wall	225		\$7.00	\$1,575	
	5	Replacement pair of doors	1	allow	\$3,000.00	\$3,000	
		Wall to close off exposed ramp edge	84	s.f.	\$15.00	\$1,260	
E.		Interior Finishes				4	
		New flooring	1	s.f.	\$5.00	\$1,850	
		New wall base		l.f.	\$4.00	\$252	
	3	Paint walls	504	s.f.	\$1.50	\$756	
F.		Electrical					
		Reinstall first floor lighting				Not Required	
	2	Fire alarm and exit devices		allow	\$1,260.00	\$1,260	
G.		Allowance for Mechanical & Plumbing conflicts		s.f.	\$15.00	\$3,600	
		Subtotal	-				\$45,12
		0.14.4.2					
		Subtotal Construction					\$45,12
			1				
			1				
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District Accessibility Renovations Longfellow Elementary School

Preliminary

350 West Ontario Street, Suite 200 Chicago, Illinois 60654

Client: Oak Park District 97
Architect: STR Partners # 13160

		STR Partners # 13160		1	,		November 8, 20
No.		Description	Quantity	Unit	Unit Price	Amount	Total
		Cuesta Aura of Bassus Assistance					
LO3		Create Area of Rescue Assistance					
Α.	4	Demolition and Prep	4	allann	# 500.00	# 500	
		Temporary barricades	1	allow	\$500.00	\$500	
		Remove Existing Ceiling		s.f.	\$2.00	\$120	
		Remove debris from Building		m.h.	\$90.00	\$360	
		Dumpsters	1	each	\$500.00	\$500	
	7	Clean up & house keeping	1	allow	\$360.00	\$360	
B.		Interior Construction					
		HM Frame / Pair HM Door / Hardware	1	each	\$2,800.00	\$2,800	
		FireLite Vision Pane 6" x 24"	1	each	\$300.00	\$300	
		GWB ceiling replacement	60	s.f.	\$12.00	\$720	
	4	6" x 9" Signs		each	\$50.00	\$0	
C.		Painting and Finishes					
	1	Paint Ceiling	300	s.f.	\$1.25	\$375	
	2	Paint HM Pair Frame	1	each	\$60.00	\$60	
D.		HVAC				None	
E.		Electrical					
	1	Lighting				None	
	2	Fire Alarm	1	allow	\$1,260.00	\$1,260	
	3	Two Way Communications "Box"	6	each	\$500.00	\$3,000	
		Tie Into Existing Two Way System in Building	1	each	\$1,500.00	\$1,500	
		Low Voltage Power to Door Hold Opens	1	each	\$2,500.00	\$2,500	
		Connect hold opens and shutter to FA		each	\$2,500.00	\$0	
F.		Fire Protection				None	
		Subtotal Total Estimated Budget					\$14,3
G.		General Requirements					+ 1 1,1
	1	General Conditions	15%		\$14,355	\$2,153	
		Contractor Overhead and Profit	8%	-	\$16,508	\$1,321	
		Contingency	10%		\$17,829	\$1,783	
		Subtotal	1070		ψ17,020	Ψ1,700	\$5,2
		Subtotal					Ψ5,2
		Total Estimated Budget					\$19,6
		Total Estimated Badget					Ψ13,

District Accessibility Renovations Longfellow Elementary School

Preliminary

350 West Ontario Street, Suite 200 Chicago, Illinois 60654

Client: Oak Park District 97 Architect: STR Partners # 13160

No.	Description	Quantity	Unit	Unit Price	Amount	Total
LO4	Reconfigure Room Entries to be IAC Compliant	t				
1	Remove Door, Frame, Hardware		each	180.00	\$0	
	Dismantle millwork		each	720.00	\$0	
	Remove ceiling and flooring		each	180.00	\$0	
	Rebuild CMU wall for door recess		allow	2,260.00	\$0	
	Rebuild millwork for larger door recess		allow	2,940.00	\$0	
	New B-labeled, ADA Door, Frame, Hardware		each	1,500.00	\$0	
	Paint CMU Walls, & frame		allow	540.00	\$0	
	Relocate light switch & other items		allow	960.00	\$0	
	Modify floor and ceiling for large recess		allow	1,940.00	\$0	
10	Relocate sink in Room 106,		allow	3,500.00	\$0	
	Subtotal					
11	General Requirements					
	a. General Conditions	10%		\$0	\$0	
	b. Contractor Overhead & Profit	8%		\$0	\$0	
	c. Mobilization, Temp Protection, Non-productive La	15%		\$0	\$0	
	Total Construction Estimated Cost					
LO5	Reconfigure Toilet Room to add IAC Toilet Stall					
1	Remove Toilet partitions		each	90.00	\$0	
2	Remove Water Closets / Valves		each	90.00	\$0	
	Demo Wall		s.f.	5.00	\$0	
4	Cap Plumbing		each	90.00	\$0	
5	Furnish and Install HC Water Closet / Valve		each	1,200.00	\$0	
6	Furnish and Install CMU		s.f.	25.00	\$0	
7	Furnish and Install Wall Tile		s.f.	12.00	\$0	
8	Furnish and Install 36" Grab Bar		each	72.00	\$0	
9	Furnish and Install 42" Grab Bar		each	75.00	\$0	
10	Miscellaneous paint and touch up		each	115.00	\$0	
11	Clean Up		allow	260.00	\$0	
	Subtotal					
12	General Requirements					
	a. General Conditions	10%		\$0	\$0	
	b. Contractor Overhead & Profit	8%		\$0	\$0	
	c. Mobilization, Temp Protection, Non-productive La	15%		\$0	\$0	
	Total Construction Estimated Cost					
	The fellowing items are producted from this . C. C.		\			
	The following items are excluded from this estimate				, ,,	
	- Special Consultant Fees	-		g or restricted	-	
	- Legal Fees			and overtime	labor rates	
	- Utility Company Service Fees			ste Handling	<u> </u>	
	- A/E or Design Fees	- Escalat	ion	 		
	1		1	1		

MANN ELEMENTARY

SUMMARY

The AAC Proposal identified the Stage as being in accessible. The Multi-Purpose Room does not have an accessible egress exit, and the 2^{nd} and 3^{rd} floors are not accessible. STR has proposed an alternate location for this exit ramp.

MA1: STAGE ACCESS

Currently there is no accessible route to the elevated stage. As the AAC suggests, a wheelchair platform lift may be implemented to achieve accessibility. We have proposed renovating the storage room to the east of the stage for this purpose.

MA2: MULTIPURPOSE ROOM

Currently there is no accessible means of egress from the Multi-Purpose room to the exterior. STR has provided two options to resolve this issue.

- Option 1: Provide a ramp along the south wall of the Multi-Purpose room to the south exit.

 The ramp is the entire width of the stair and provides a somewhat circuitous route for all users needing to exit through this door.
- Option 2: Remove a portion of the north exit stairs and provide a ramp along the north wall of the Multi-Purpose room.

 This location will trigger the relocation of the current serving line.

MA3: VERTICAL ACCESS - ELEVATOR

STR has proposed the elevator be located within the building adjacent to the center west stairwell. This location reduces the disruption to occupied space associate with an exterior tower; however, there are still items to be coordinated:

- Basement: The elevator is located above the Boiler Room. While we propose a hole-less hydraulic elevator (without a piston), we will still need a 4-foot clear pit. The area below the shaft holds an antiquated air-handling unit serving the auditorium. This equipment is beyond its useful life. We propose to replace this equipment and locate away from the elevator above, as there is open area in the Boiler Room. Thus, we will have space below the elevator to construct a 4ft clear pit suspended in the Boiler Room.
- 1st floor: Relocate Girls Toilet Room. We propose gutting the existing girls toilet room and shower associated with the original locker room into one large accessible girls toilet room.
- 2nd floor: Relocate Janitor's Closet. We propose a location across the corridor.
- 2nd floor: Adjust the entry door and north wall of Girls Toilet room for ADA required clearances
- 3rd floor: Relocate Janitor's Closet. We propose a location across the corridor.

STR PARTNERS MANN SUMMARY

• 3rd floor: Adjust the entry door and north wall of Girls Toilet room for ADA required clearances

The addition of an elevator, however, renders the 2nd and 3rd floors accessible.

MA4: AREAS OF RESCUE ASSISTANCE – 2nd and 3rd FLOORS

As a result of adding vertical accessibility, it will be necessary to provide area of rescue assistance and associated signage for egress. We have identified locations at the 2nd and 3rd floors for this purpose.

MA5: CLASSROOM DOOR ADA RENOVATIONS

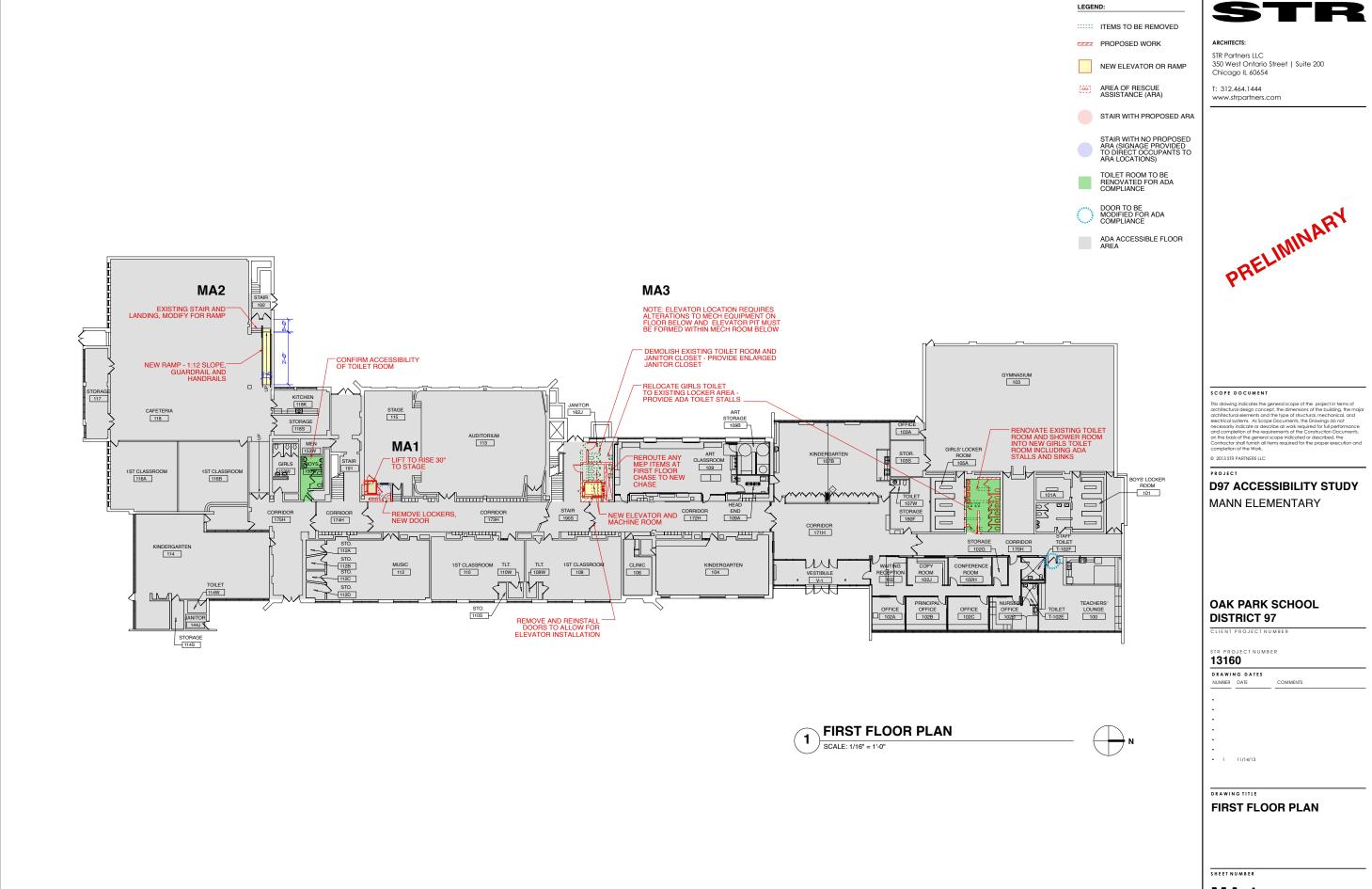
With the implementation of the elevator, there is now a large portion of the building that becomes accessible that previously was not. Consequently, there are several doorways that do not meet the required clearances for accessibility. We have attempted to identify the doors we believe will require adjustment in order to meet ADA regulations. However, with varying existing conditions, each opening has its own challenge. In many cases, to meet the letter of the code, intensive deconstruction is required. We believe that a solution for this condition will take in depth discussion with FAC and the District to determine what is in the best interest of the District as well as the users. Therefore, at this time, we have not provided a cost estimate for door opening renovation work.

MA6: TOILET ROOM ADA RENOVATIONS

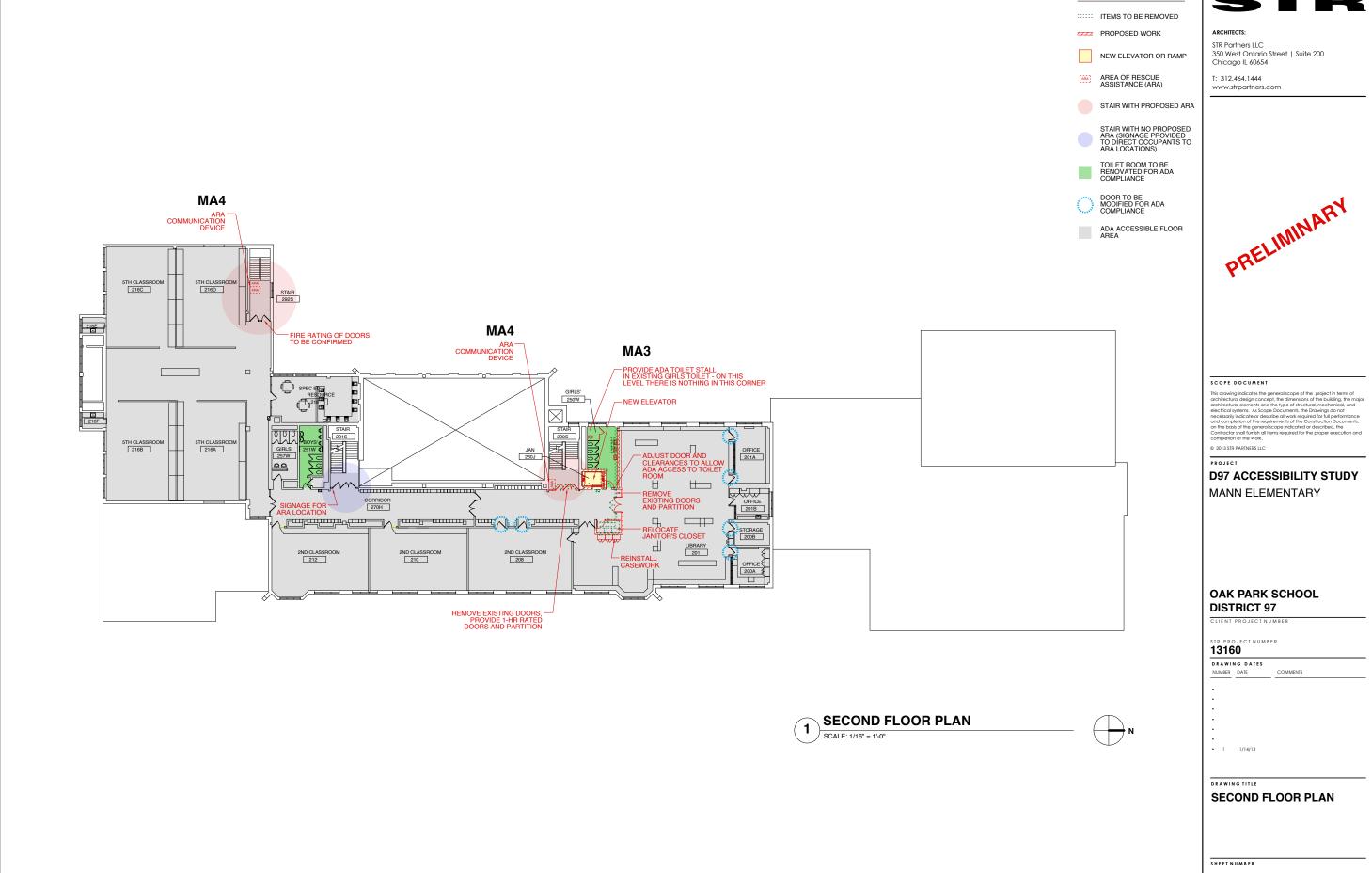
With the implementation of the elevator, there is now a large portion of the building that becomes accessible that previously was not. Consequently, there are toilet rooms that do not have accessible stalls or sinks or even entrances. Additionally, accessible drinking fountains are absent from most if not all newly accessible areas. We have suggested as part of this report locations for toilet room renovations to accommodate disabled users. At this time, we are recommending working with FAC and with the District to determine a philosophy to guide this scope through all facilities. Therefore, at this time, we have not provided a cost estimate for toilet renovation work.

END OF MANN

STR PARTNERS MANN SUMMARY



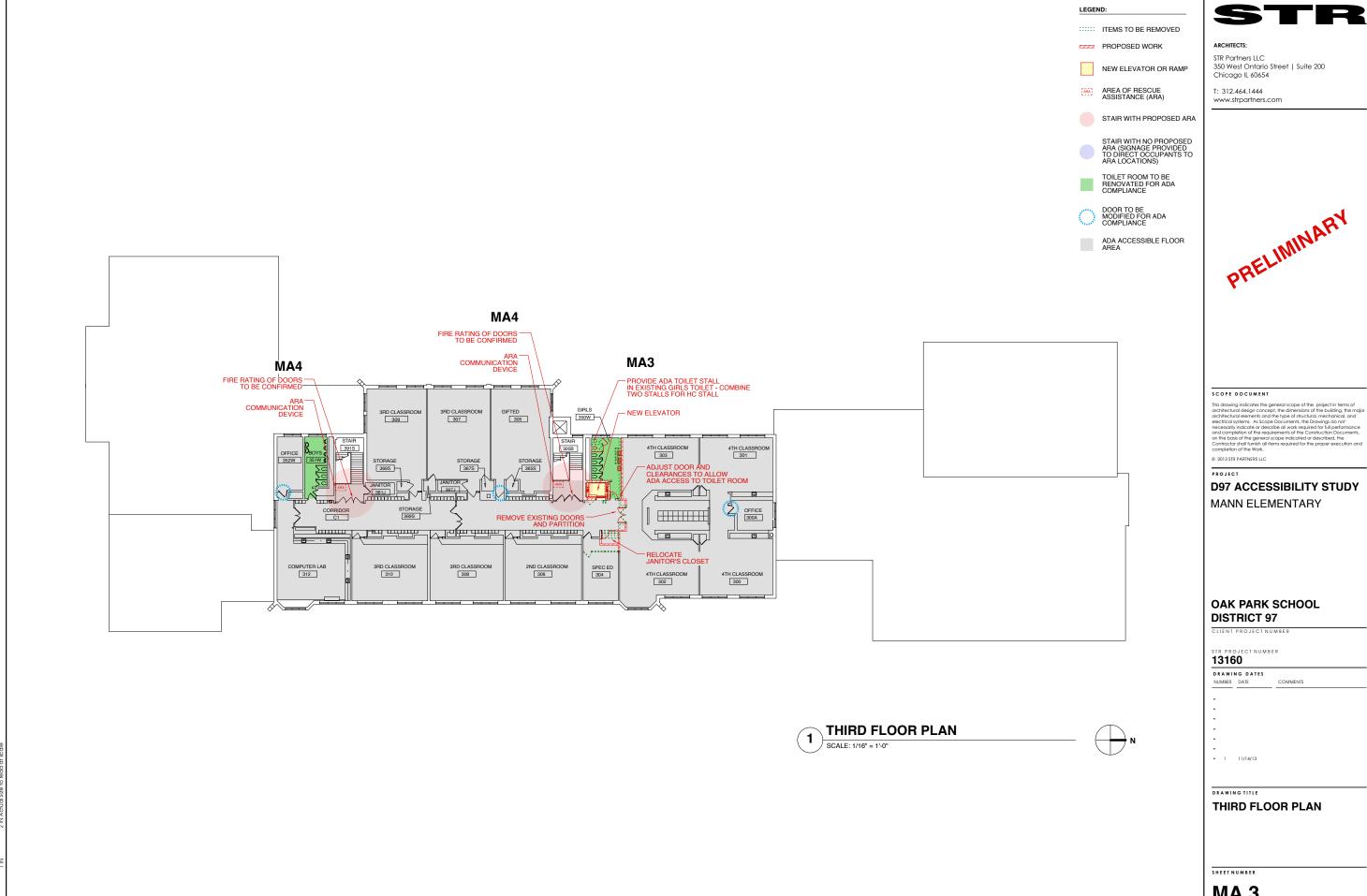
MA.1



STR

LEGEND:

MA.2



MA.3

District Accessibility Renovations Mann Elementary School

Preliminary

350 West Ontario Street, Suite 200 Chicago, Illinois 60654

Client: Oak Park District 97
Architect: STR Partners # 13160

November 8, 2013

No.	Description	Quantity	Unit	Unit Price	Amount	Total
MA1	Install a Stage Wheel Chair Lift in existing Close	ot .				
A.	Demolition	 				
Λ.	1 Remove lockers	100	l f	12.00	¢1 200	
		100			\$1,200	
	2 Remove terrazzo wall base	-	allow	1,200.00	\$1,200	
	3 Strip plaster and mural	1	allow	960.00	\$960	
	4 Strip interior finishes in closet	1	allow	960.00	\$960	
	Remove closet door & frame	1	allow	285.00	\$285	
	Remove hallway wall for new corridor access	1	allow	960.00	\$960	
	7 Remove wall at stage elevation	1	allow	960.00	\$960	
	Remove structural deck* in closet to lower floor to corridor elevation	1	allow	1,720.00	\$1,720	
	*Assume stage deck and closet floor are wood framed structures.					
	9 Disposal of debris	16	hours	85.00	\$1,360	
	D Dumpster		each	500.00	V 1,000	
B.	Modify stage & closet floor structure for Lift					
	1 Carpentry	32	hours	92.00	\$2,944	
:	2 Material allowance	1	allow	800.00	\$800	
C.	Lift - DME Symmetry Lift	1	each	23,000.00	\$23,000	
D.	Interior Construction					
	New corridor SCWD door & HM frame	1	allow	1,200.00	\$1,200	
:	Rebuild corridor wall	1	allow	3,280.00	\$3,280	
;	Rebuild stage wall at Lift opening	1	allow	1,720.00	\$1,720	
	New flooring					
	a. Grind and reshape terrazzo base in corridor	1	allow	670.00	\$670	
	b. Flooring in closet	1	allow	460.00	\$460	
	5 New drywall sheating in closet	480	s.f.	5.00	\$2,400	
	6 New ACT ceiling in closet	1	allow	460.00	\$460	
E.	Interior Finishes	•	u.iow	100.00	Ψ100	
	1 Paint walls	1	allow	860.00	\$860	
	2 Restore mural	1	allow	1,820.00	\$1,820	
		-				
	3 Signage allowance	2	allow	560.00	\$1,120	
	Paint door frame	1	each	85.00	\$85	
F.	Electrical					
	Lighting and switching	1	allow	880.00	\$880	
	Power to wheel chair lift					
	a. Conduit and wire	100		12.00	\$1,200	
	b. New breaker in existing panel	1	allow	1,200.00	\$1,200	
	c. Final connections, trim out, and testing	1	allow	960.00	\$960	
	Subtotal					\$54,6
G.	General Requirements					
	1 General Conditions	10%		\$54,664	\$5,466	
	2 Contractor Overhead & Profit	8%		\$60,130	\$4,810	
	3 Contingency	15%		\$64,941	\$9,741	
	Total Construction Estimated Cost			† †		\$74,6
				†		Ţ- .,
				+		

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District Accessibility Renovations Mann Elementary School

Preliminary

350 West Ontario Street, Suite 200 Chicago, Illinois 60654

Client: Oak Park District 97 Architect: STR Partners # 13160

November 8, 2013

No.		Description	Quantity	Unit	Unit Price	Amount	Total
		2000p.101.	- Quantity			7 11110 01110	
MA2		ADA Access Ramp to Cafeteria #118					
Α.		Selective Demolition					
	1	Remove wall mounted devices	2	hours	\$90.00	\$180	
		Prep stair and floor for new ramp	1	allow	\$936.00	\$936	
В.	-	Protection	-	ano.	Ψ000.00	ψ.σ.σ.	
	1	Barricade and fencing	60	l.f.	\$25.00	\$1,500	
		Maintenance and removal of protection		hours	\$90.00	\$1,440	
E.		Concrete Ramp and Landing	1		400.00	ψ·,···ο	
	1	Ramp slab with formcore fill	81	s.f.	\$35.00	\$2,818	
		Exposed ramp wall	- 01	0.1.	Ψ00.00	Ψ2,010	
	_	a. Ramp	23	s.f.	\$75.00	\$1,725	
		b. Epoxy dowels into existing Slab	15	each	\$150.00	\$2,250	
F.		Miscellaneous Metals	13	Cacii	ψ130.00	Ψ2,230	
г.			30	l.f.	\$200.00	\$6,000	
		Free standing			+ ·		
		Wall mounted	23	I.T.	\$75.00	\$1,725	
G.	_	Painting	1	-11	#040.00	0040	
		Allowance for painting rails	1 200	allow	\$640.00	\$640	
		Clean existing brick walls Paint HM door and frame	396	S.T.	\$1.50	\$594	
	3					None	
		Subtotal Construction					\$19,8
Н.		General Requirements					
	1	General Conditions	10%		\$19,808	\$1,981	
		Contractor Overhead & Profit	8%		\$21,788	\$1,743	
	3	,	15%		\$23,531	\$3,530	
		Total Construction Estimated Cost					\$27,0
MA3		Install a Elevator Addition for ADA Access					
A.		Demolition					
Λ.	1	Remove 2nd & 3rd floor walls and doors			+		
	_	a. Remove doors	5	each	\$180.00	\$900	
					,	\$480	
		1. Remove pair of doors	175	pair	\$240.00	· · · · · · · · · · · · · · · · · · ·	
		b. Remove CMU partitions			\$15.00	\$2,625	
		c. Remove toilet stall and accessories		allow	\$1,180.00	\$2,360	
		d. Remove plumbing fixtures & cap lines		each	\$184.00	\$2,208	
		e. Remove ceiling and lighting	1,600		\$2.00	\$3,200	
		f Strip flooring (assume VCT)	1,600		\$1.00	\$1,600	
		g. Remove casework 2nd floor	1	allow	\$418.00	\$418	
		h. Remove plumbing rough-in		allow	\$936.00	\$1,872	
		i. Remove HVAC & electrical		allow	\$1,736.00	\$3,472	
		j. Remove office storefront - 3rd floor	14	I.f.	\$10.00	\$140	

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District Accessibility Renovations Mann Elementary School

Preliminary

350 West Ontario Street, Suite 200 Chicago, Illinois 60654

Client: Oak Park District 97 Architect: STR Partners # 13160

November 8, 2013

No.		Description	Quantity	Unit	Unit Price	Amount	Total
		•					
MA3		Install a Elevator Addition for ADA Access					
	2	First Floor Demo					
		a. Remove doors	3	each	\$180.00	\$540	
		b. Remove CMU partitions	79	l.f.	\$15.00	\$1,185	
		c. Remove toilet stall and accessories	1	allow	\$1,180.00	\$1,180	
		d. Remove plumbing fixtures & cap lines	8	each	\$184.00	\$1,472	
		e. Remove ceiling and lighting	700	s.f.	\$2.00	\$1,400	
		f Strip flooring (assume VCT)	700	s.f.	\$1.00	\$700	
		g. Remove corridor doors and partition	1	allow	\$1,640.00	\$1,640	
		h. Remove plumbing IN-in	1	allow	\$936.00	\$936	
		i. Remove HVAC & electrical	1	allow	\$1,736.00	\$1,736	
		j. Allowance for demo in ?Closet & shaft?	1	allow	\$3,540.00	\$3,540	
	3	Basement Demolition			,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	+ -,	
	_	a. Remove Mechanical equipment in basement	1	allow	\$13,200	\$13,200	
		b. Demo walls, ceiling, flooring, etc.		s.f.	\$20.00	\$14,000	
		c. Relocate mechanical equipment	700	0.11	Ψ20.00	NIC	
		d. Relocate electrical equipment & panels				NIC	
		Remove debris from Building	40	m.h.	\$92.00	\$3,680	
		Dumpsters		each	\$500.00	\$7,500	
В.	_	Elevator pit & shaft	15	eacii	\$500.00	Ψ7,500	
Ь.		Cut SOG in basement and pour shaft footing	1	allow	\$4,680.00	¢4 690	
		8" CMU shaft walls for basement to 3rd floor	2,100	s.f.	\$18.00	\$4,680	
	_			-	†	\$37,800	
		a. Lintels and support clips	4	levels	\$500.00	\$2,000	
		b. Install elevator door frames Remove structural floor for elevator shaft opening	3	levels	\$184.00	\$552	
		and frame opening	3	each	\$8,320.00	\$24,960	
C.		Elevator Penthouse / Override					
<u> </u>	1	Strip roofing for access to structure	1	allow	\$1,280.00	\$1,280	
	_	Frame and remove roof structure for penthouse	1	allow	\$8,320.00	\$8,320	
		Penthouse walls and roof framing	1	allow	\$5,840.00	\$5,840	
		Penthouse roof	1	allow	\$3,080.00	\$3,080	
D.	_	Custom elevator allowance		each	\$100,000	\$100,000	
E.		Interior Construction	1	Cacii	\$100,000	φ100,000	
<u> </u>	_	High density drywall partitions					
	_	a. Drywall furring on walls at elevator lobby	300	c f	\$6.00	\$1,800	
		b. Drywall on metal studs & sound bats.	2,940	†	t		
				-	\$10.00	\$29,400	
	_	c. Allowance for basement partitions	2 100	allow	\$4,944.00	\$4,944	
		Drywall ceiling		s.f.	\$12.00	\$25,200	
		a. Soffit at ceiling joints	36	l.f.	\$40.00	\$1,440	
		Film over existing windows		each	\$3,000.00	\$0	
		Re-install casework in Library 201	1	allow	\$836.00	\$836	
	5	Miscellaneous metal ladder & threshold	1	allow	\$1,200.00	\$1,200	
				1			

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District Accessibility Renovations Mann Elementary School

Preliminary

STER CONSULTING 350 West Ontario Street, Suite 200 Chicago, Illinois 60654

Client: Oak Park District 97 Architect: STR Partners # 13160

November 8, 2013

No.	Description	Quantity	Unit	Unit Price	Amount	Total
MA3	Install a Elevator Addition for ADA Access					
F.	Interior Finishes					
	Allowance to replace flooring	2,100	s.f.	\$8.00	\$16,800	
	a. Patch & level floors in toilet rooms	3	allow	\$920.00	\$2,760	
	Paint drywall	3,920	s.f.	\$1.00	\$3,920	
	Paint ceiling	2,100	s.f.	\$1.75	\$3,675	
G.	Plumbing	_,::::		7 5	75,515	
	Fixtures with rough-in					
	a. Janitor slop sinks	3	each	\$1,500.00	\$4,500	
	b. ADA toilet	2	each	\$1,200.00	\$2,400	
	d. Standard toilet		00.0	· ·	Existing to remain	
	e. Wall hung lavatories	6	each	\$900.00	\$5,400	
	Plumbing allowance - waste vent, & water	-	Cacii	ψ300.00	ψυ, του	
	a. Labor - 2 plumber for 4 days	64	hours	\$92.00	\$5,888	
	b. Piping & equipment allowance	1	allow	\$3,000.00	\$3,000	
	c. Allowance for basement plumbing		allow	ψ3,000.00	NIC	
	7 Toilet partition & accessories				INIC	
	· ·	1	allow	£4 200 00	£4.200	
	a. ADA stall	1 5	allow	\$1,200.00	\$1,200	
	b. Standard stalls		each	\$800.00	\$4,000	
	c. Accessories allowance	1	allow	\$4,000.00	\$4,000	
Н.	HVAC Modification	4		# 4.000.00	# 4.000	
	Heating & exhaust for elevator equipment room	1	allow	\$4,000.00	\$4,000	
	2 Janitor closet exhausts	3	allow	\$1,236.00	\$3,708	
	B Elevator shaft exhaust	1		\$1,500.00	\$1,500	
	Modify toilet room HVAC for new layout	3	locations	\$1,972.00	\$5,916	
	Modify basement HVAC				NIC	
l.	Electrical					
	Power to elevator					
	Modify existing switchgear or MDP	1	allow	\$20,000	\$20,000	
	b. New panels	1	allow	\$8,000.00	\$8,000	
	c. Final connections, trim out, and testing	1	allow	\$2,000.00	\$2,000	
2	Revise lighting	2,100	s.f.	\$8.00	\$16,800	
(Revised power for JC and toilet rooms	2,100	s.f.	\$6.00	\$12,600	
4	Remove lighting and electrical device in shaft	1	allow	380.00	\$380	
4	Lighting and convenience power in equipment room	1	each	1,260.00	\$1,260	
J.	Fire Alarm & Communication Connections	1	allow	\$2,720.00	\$2,720	
	a. Elevator allowance	1	allow	\$2,720.00	\$2,720	
	b. FA in toilet and corridors	2,100	s.f.	\$4.00	\$8,400	
K.	Modify Shower Room 105A to Girls Toilet					
,	Demo allowance	345	s.f.	\$20.00	\$6,900	
	New partition	1,140	s.f.	\$12.00	\$13,680	
	SCWD with HM frame	1	allow	\$1,200.00	\$1,200	
4	Drywall ceiling with paint	345	s.f.	\$14.00	\$4,830	
- <u></u>						

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District Accessibility Renovations Mann Elementary School

Preliminary

350 West Ontario Street, Suite 200 Chicago, Illinois 60654

Client: Oak Park District 97 Architect: STR Partners # 13160

Addition for ADA Access ce - waste vent, & water per for 3 days ment allowance ories ccessories	1 1 5 4	hours allow each each	\$92.00 \$2,000.00 \$1,200.00 \$1,100.00 \$900.00	\$4,416 \$2,000 \$1,200 \$5,500	
ce - waste vent, & water per for 3 days ment allowance ories ccessories	1 1 5 4	allow each each	\$2,000.00 \$1,200.00 \$1,100.00	\$2,000 \$1,200	
oer for 3 days nent allowance ories ccessories	1 1 5 4	allow each each	\$2,000.00 \$1,200.00 \$1,100.00	\$2,000 \$1,200	
ories ccessories	1 1 5 4	allow each each	\$2,000.00 \$1,200.00 \$1,100.00	\$2,000 \$1,200	
ories ccessories	1 5 4	each each	\$1,200.00 \$1,100.00	\$1,200	
ccessories	5 4 1	each	\$1,100.00		
ccessories	1			ψ5,500	
ccessories	1	Caon	ψ300.00	\$3,600	
				Ψ3,000	
owance		allow	\$1,200.00	\$1,200	
owance		each	\$800.00	\$4,000	
Dwance					
	l I	allow	\$4,000.00	\$4,000	
	0.45	- 6	#40.00	00.450	
		s.f.	\$10.00	\$3,450	
e		s.f.	\$12.00	\$8,208	
alking allowance	1	allow	\$920.00	\$920	
			A 1 5 - 5 -		
system for heating & vent		s.f.	\$15.00	\$5,175	
	1	allow	\$1,500.00	\$1,500	
		s.f.	\$6.00	\$2,070	
	345	s.f.	\$5.00	\$1,725	
	345	s.f.	\$3.00	\$1,035	
				None	
Subtotal					\$549,4
nents					Ψο το, τ
IS	10%		\$549,472	\$54,947	
ead & Profit	8%		\$604,419	\$48,354	
Protection, Non-productive Lab			\$652,773	\$97,916	
struction Estimated Cost	10,1		¥****	701,010	\$750,6
Struction Estimated Gost					Ψ100,0

District Accessibility Renovations Mann Elementary School

Preliminary

350 West Ontario Street, Suite 200 Chicago, Illinois 60654

Client: Oak Park District 97 Architect: STR Partners # 13160

No.		Description	Quantity	Unit	Unit Price	Amount	Total
	ĺ	·	,				
MA4		Create Four Areas of Rescue Assistance on the	Second a	and Thi	ird Floors		
A.		Demolition and Prep					
	1	Temporary barricades	1	allow	\$500.00	\$500	
	2	Remove Existing Ceiling	48	s.f.	\$2.00	\$96	
	5	Remove debris from Building	4	m.h.	\$90.00	\$360	
	6	Dumpsters	1	each	\$500.00	\$500	
	7	Clean up & house keeping	1	allow	\$360.00	\$360	
		Subtotal - Demolition & Prep					\$1,81
B.		Interior Construction					
	1	HM Frame / HM Door / Hardware	1	each	\$1,500.00	\$1,500	
	2	HM Frame / Pair HM Door / Hardware	1	each	\$2,800.00	\$2,800	
	6	GWB Ceiling on Metal Stud Support	180	s.f.	\$12.00	\$2,160	
	_	Plaster Finish on GWB Ceiling	48	s.f.	\$3.00	\$144	
		6" x 9" Signs	5	each	\$50.00	\$250	
		Subtotal - Interior Construction					\$6,85
C.		Painting and Finishes					
		Paint GWB Soffit	0	l.f.	\$15.00	\$0	
	2	Paint Ceiling		s.f.	\$1.25	\$125	
	_	Paint HM Frame		each	\$45.00	\$45	
		Paint HM Pair Frame	1	each	\$60.00	\$60	
		Subtotal - Painting				·	\$23
D.		HVAC					,
	_	Adjust Ductwork		s.f.	\$12.00	\$0	
	_	Diffuser		each	\$175.00	\$0	
		Subtotal - HVAC				· .	9
E.		Electrical					
	_	Lighting				None	
	_	Fire Alarm				None	
	_	Two Way Communications "Box"	4	each	\$500.00	\$2,000	
	_	Tie Into Existing Two Way System in Building	4	each	\$1,500.00	\$6,000	
	_	Low Voltage Power to Door Hold Opens			, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	None	
		New lighting and ceiling mounted items	1	allow	\$500.00	\$500	
		Subtotal - Electrical				·	\$8,50
F.		Fire Protection				None	, , , ,
							=========
		Subtotal Total Estimated Budget					\$17,40
G.		General Requirements					Ψ, ι
	1	General Conditions	10%		\$17,400	\$1,740	
	_	Contractor Overhead & Profit	8%		\$19,140	\$1,531	
		Mobilization, Temp Protection, Non-productive Lab			\$20,671	\$3,101	
		Total Construction Estimated Cost	70		, ,,,,,	7-,:01	\$23,77
		. Stal. St. St. St. St. Edinated State					+ ,,,,
				-	+		

District Accessibility Renovations Mann Elementary School

Preliminary

350 West Ontario Street, Suite 200 Chicago, Illinois 60654

Client: Oak Park District 97
Architect: STR Partners # 13160

No.	Description	Quantity	Unit	Unit Price	Amount	Total
NO.	Description	Quantity	UIIIL	Offic Price	Amount	IUlai
MA5	Reconfigure Room Entries to be IAN Compliant					
WIA5		L		100.00	¢0	
1	Remove Door, Frame, Hardware Dismantle millwork		each	180.00	\$0 \$0	
			each	720.00		
	Remove ceiling and flooring		each	180.00	\$0	
	Rebuild CMU wall for door recess		allow	2,260.00	\$0	
	Rebuild millwork for larger door recess		allow	2,940.00	\$0	
	New B-labeled, ADA Door, Frame, Hardware		each	1,500.00	\$0	
	Paint CMU Walls, & frame		allow	540.00	\$0	
	Relocate light switch & other items		allow	960.00	\$0	
	Modify floor and ceiling for large recess		allow	1,940.00	\$0	
10	Relocate sink in Room 106,		allow	3,500.00	\$0	
11	Subtotal					9
11	General Requirements a. General Conditions	10%		\$0	\$0	
	b. Contractor Overhead & Profit	8%		· · · · · ·	· ·	
	c. Mobilization, Temp Protection, Non-productive La			\$0 \$0	\$0 \$0	
	Total Construction Estimated Cost	15 /0		Ψ0	φ0	
	Total Construction Estimated Cost					•
				+		
MA6	Reconfigure Toilet Room to add IAN Toilet Stall					
	Remove Toilet partitions		each	90.00	\$0	
	Remove Water Closets / Valves		each	90.00	\$0	
	Demo Wall		s.f.	5.00	\$0	
	Cap Plumbing		each	90.00	\$0	
	Furnish and Install HC Water Closet / Valve		each	1,200.00	\$0	
	Furnish and Install CMU		s.f.	25.00	\$0	
	Furnish and Install Wall Tile		s.f.	12.00	\$0	
	Furnish and Install 36" Grab Bar		each	72.00	\$0	
	Furnish and Install 42" Grab Bar		each	75.00	\$0	
	Miscellaneous paint and touch up		each	115.00	\$0	
	Clean Up		allow	260.00	\$0	
	Subtotal		allow	200.00	ΨΟ	(
12	General Requirements					
12	a. General Conditions	10%		\$0	\$0	
	b. Contractor Overhead & Profit	8%		\$0	\$0	
	c. Mobilization, Temp Protection, Non-productive La	15%		\$0	\$0	
	Total Construction Estimated Cost	1070			Ψ0	
	Total Construction Estimated Cost					
				1		

WHITTIER ELEMENTARY

SUMMARY

The AAC Proposal identified the following spaces as inaccessible from inside the building: Multipurpose Room, Auditorium, Stage, Art Room, and Music Room.

WH1: MULTIPURPOSE ROOM

Currently there is no accessible entrance to or exit from the Multi-Purpose room. STR has provided two options to resolve this issue.

Option 1: Reclaim the west hall for circulation in lieu of storage and Janitor office.

Remove the stairs in the west hall.

Provide a ramp along the north wall of the Multi-Purpose room that turns into the west hall.

Provide rated doors at the north and south end of the west hall.

Janitor's Closet will need to be relocated.

Option 2: Construct a small addition providing a new enclosed corridor ramp connecting the Multi-

Purpose Room to the southwest stair and corridor. Include a new door to the exterior at top of ramp.

STR did not investigate providing a platform lift to enter this space as it does not address the issue of an accessible egress exit from the space. Additionally, raising the floor level proved to be a challenge on many levels due to the location of power outlets, HVAC equipment, plumbing at the kitchen that would also need to be raised, etc. Therefore, we are recommending one of the two above options

WH2: VERTICAL ACCESS - ELEVATOR

STR reviewed the plan for an elevator location. We feel that the southeast corner of the center courtyard is a viable solution as it is at the main entry, does not affect the current use of any spaces, and with the addition of ramps at the 1st and 2nd floors (refer to WH3), this location will render all levels accessible. Additionally, this location does not obstruct windows into instruction space on any level.

WH3: HORIZONTAL ACCESS - RAMPS AT 1ST AND 2ND FLOORS

1st Floor

Ramp: We propose to install a ramp within the existing corridor over the existing stairs to provide

access to the Art and Music classrooms and the Auditorium.

2nd Floor

Ramp

North: Due to the location of the stairs in this corridor, the stairs will need to be removed, the floor

structure supported at each end, and a ramp installed to connect the two levels.

2nd Floor Ramp

South:

Due to the location of the stairs in this corridor, the stairs will need to be removed, the floor

structure supported at each end, and a ramp installed to connect the two levels. This

construction will require the relocation of lockers if deemed necessary.

WH4: AREAS OF RESCUE ASSISTANCE – 2nd and 3rd FLOORS

As a result of adding vertical accessibility, it will be necessary to provide area of rescue assistance and associated signage for egress. We have identified locations at the 2nd and 3rd floors for this purpose.

WH5: CLASSROOM DOOR ADA RENOVATIONS

With the implementation of the elevator, there is now a large portion of the building that becomes accessible that previously was not. Consequently, there are several doorways that do not meet the required clearances for accessibility. We have attempted to identify the doors we believe will require adjustment in order to meet ADA regulations. However, with varying existing conditions, each opening has its own challenge. In many cases, to meet the letter of the code, intensive deconstruction is required. We believe that a solution for this condition will take in depth discussion with FAC and the District to determine what is in the best interest of the District as well as the users. Therefore, at this time, we have not provided a cost estimate for door opening renovation work.

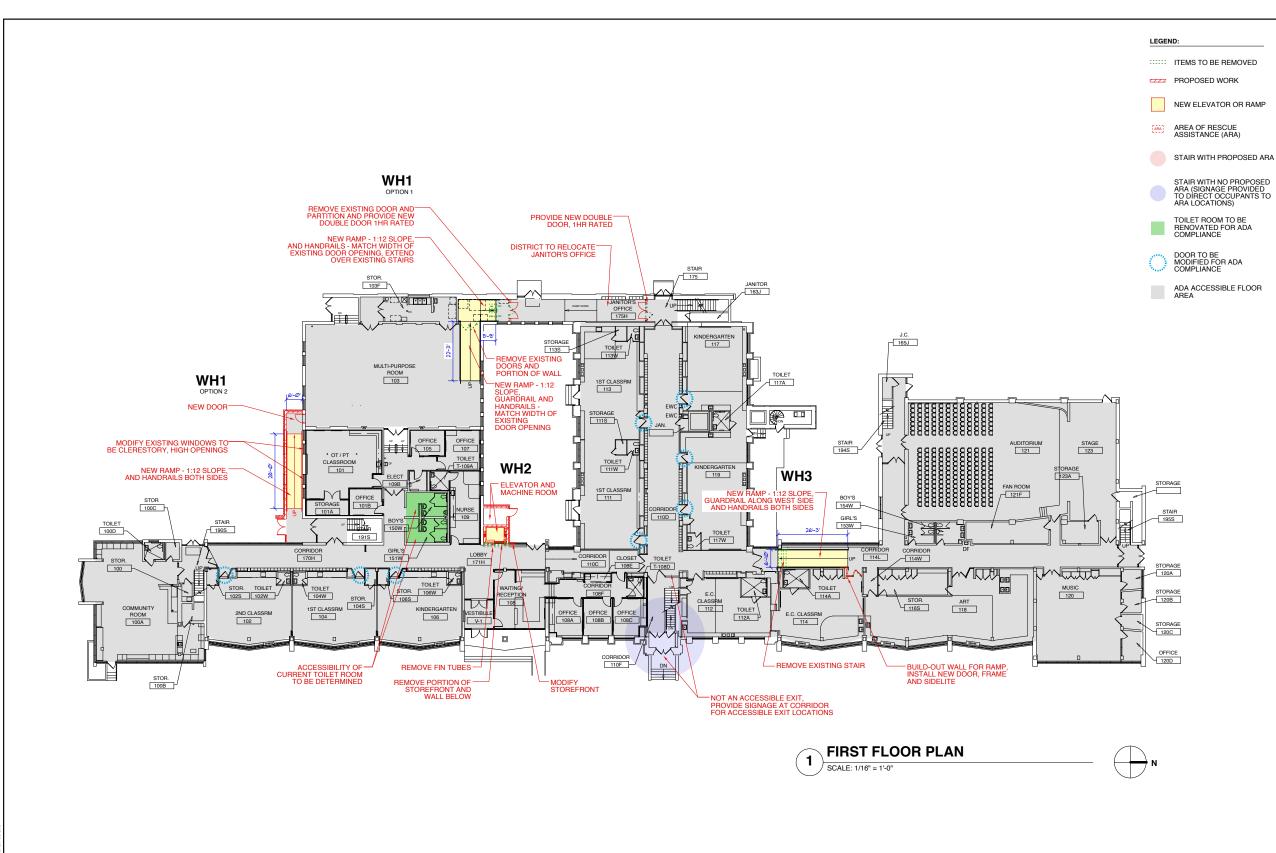
WH6: TOILET ROOM ADA RENOVATIONS

With the implementation of the elevator, there is now a large portion of the building that becomes accessible that previously was not. Consequently, there are toilet rooms that do not have accessible stalls or sinks or even entrances. Additionally, accessible drinking fountains are absent from most if not all newly accessible areas. We have suggested as part of this report locations for toilet room renovations to accommodate disabled users. At this time, we are recommending working with FAC and with the District to determine a philosophy to guide this scope through all facilities. Therefore, at this time, we have not provided a cost estimate for toilet renovation work.

END OF WHITTIER

STR PARTNERS WHITTIER SUMMARY

OPD97: Feasibility Review of Accessibility Advisory Committee Proposal





ARCHITECTS:

STR Partners LLC 350 West Ontario Street | Suite 200 Chicago IL 60654

T: 312.464.1444 www.strpartners.com

PRELIMINARY

SCOPE DOCUMENT

This drawing indicates the general scope of the project in terms of architectural design cancept, the dimensions of the building, then architectural elements and the type of structural, mechanical, and electrical systems. As Scope Documents, the Drawings do not necessarily indicate or describe all work required for full performant and completion of the requirements of the Constituction Document on the basis of the general scope indicated or described, the Contractor shall furnish all flems required for the proper execution a completion of the Work.

PROJECT

D97 ACCESSIBILITY STUDYWHITTIER ELEMENTARY

OAK PARK SCHOOL DISTRICT 97

CLIENT PROJECT NUMB

13160

DRAWING DATES

NUMBER DATE

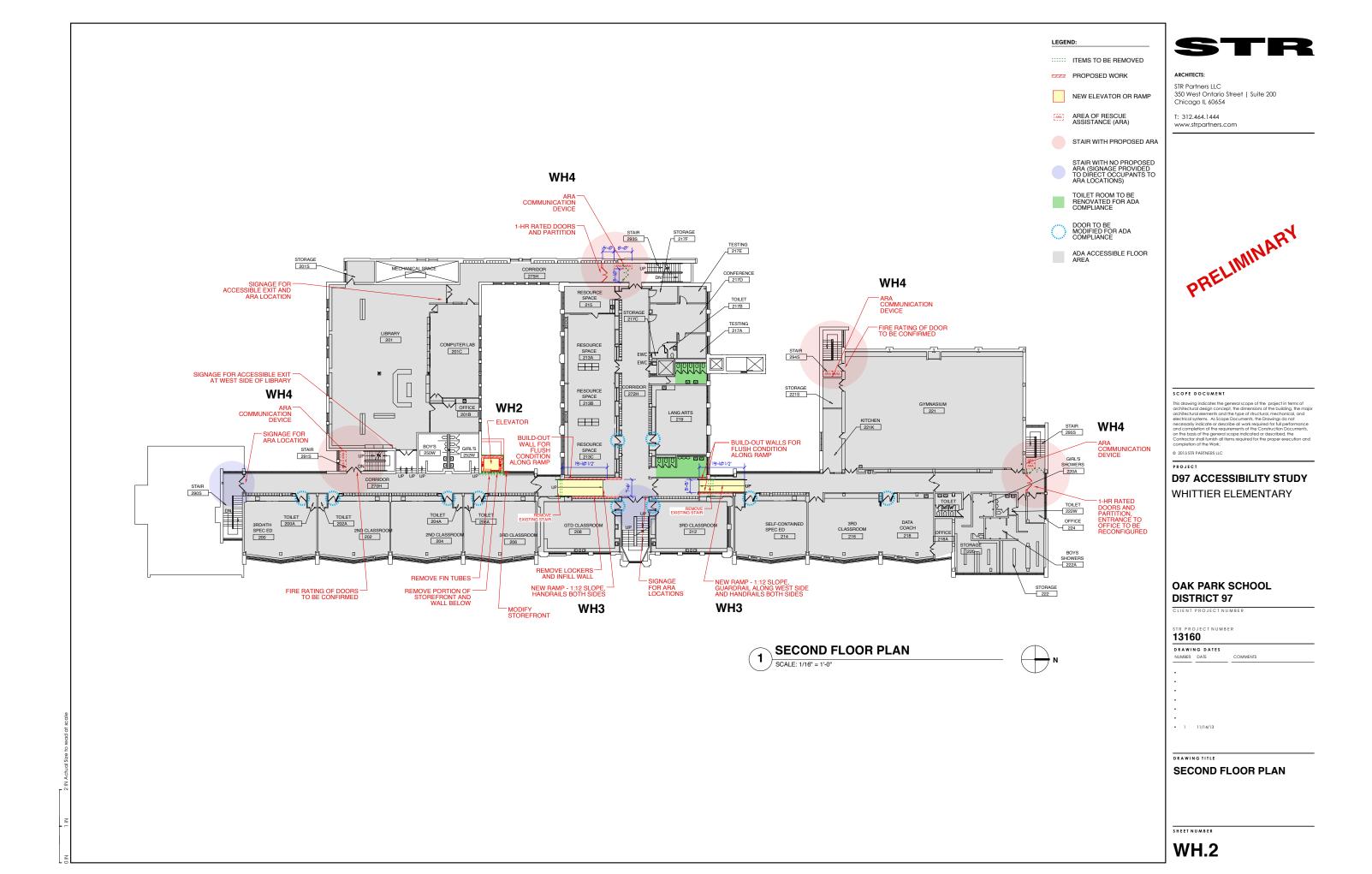
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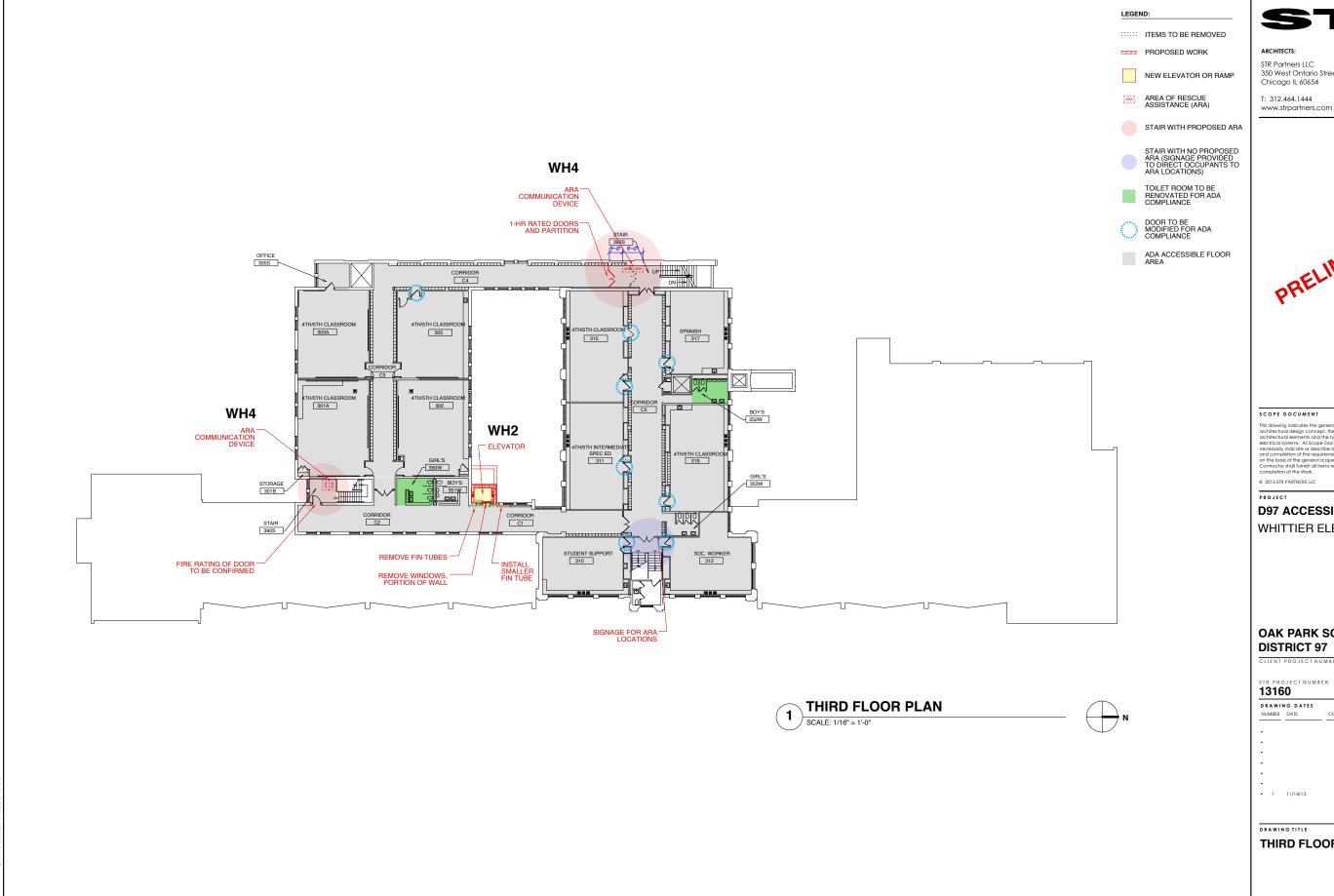
DRAWING TITLE

FIRST FLOOR PLAN

SHEET NUMBER

WH.1





STR Partners LLC 350 West Ontario Street | Suite 200 Chicago IL 60654

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D97 ACCESSIBILITY STUDY WHITTIER ELEMENTARY

OAK PARK SCHOOL **DISTRICT 97**

THIRD FLOOR PLAN

SHEET NUMBER

WH.3

District Accessibility Renovations Whittier Elementary School

Preliminary

350 West Ontario Street, Suite 200 Chicago, Illinois 60654

Client: Oak Park District 97 Architect: STR Partners # 13160

No.		Description	Quantity	Unit	Unit Price	Amount	Total
18/114							
WH1	_	Option One Interior ADA Access Ramp to Mu	ultipurpose R	Room			
Α.	_	Selective Demolition			000.00	0.100	
		Remove wall mounted devices		hours	\$90.00	\$180	
	_	Prep stair and floor for new ramp		allow	\$936.00	\$936	
		Remove partitions		l.f.	\$20.00	\$500	
	_	Remove doors	4	leafs	\$120.00	\$480	
B.	_	Protection					
		Barricade and fencing		l.f.	\$25.00	\$1,250	
		Maintenance and removal of protection	16	hours	\$90.00	\$1,440	
C.	_	Concrete Ramp and Landing					
	_	Ramp slab with formcore fill	290	s.f.	\$35.00	\$10,150	
	_	Exposed ramp wall					
		a. Ramp	21	s.f.	\$75.00	\$1,575	
		b. Epoxy dowels into existing Slab	11	each	\$150.00	\$1,650	
D.	_	Interior Construction					
	1	Rated drywall partitions	240	s.f.	\$8.00	\$1,920	
	2	Pair of rated doors and frames	2	each	\$3,500.00	\$7,000	
	3	Patch dis-jointed walls	2	locatio	\$820.00	\$1,640	
	4	Patch & repair ceiling at rated walls	16	l.f.	\$20.00	\$320	
E.		Miscellaneous Metals					
	1	Free standing	21	l.f.	\$200.00	\$4,200	
	2	Wall mounted	30	l.f.	\$75.00	\$2,250	
F.		Painting					
	1	Allowance for painting rails	1	allow	\$640.00	\$640	
	_	Clean existing brick walls	1,422	s.f.	\$1.00	\$1,422	
	_	Paint HM door and frame	2	each	\$120.00	\$240	
G.		Electrical				·	
	_	Exit sign	2	each	\$500.00	\$1,000	
	_	Revised lighting			·	None	
		FA devices (pulls, horn & strobes)	1	allow	\$1,260.00	\$1,260	
		Subtotal Construction			, , , ,	, ,	\$40,0
Н.		General Requirements					ψ 10,0
	_	General Conditions	10%		\$40,053	\$4,005	
	_	Contractor Overhead & Profit	8%		\$44,058	\$3,525	
		Contingency	15%		\$47,583	\$7,137	
	_	Total Construction Estimated Cost	1570		Ţ, 000	ψ.,.σ.	\$54,7
		Total Gonstidetion Estimated Gost					φυ+,1

District Accessibility Renovations Whittier Elementary School

Preliminary

350 West Ontario Street, Suite 200 Chicago, Illinois 60654

Client: Oak Park District 97
Architect: STR Partners # 13160

November 8, 2013

		STR Partners # 13160		!	:		November 8, 201
No.		Description	Quantity	Unit	Unit Price	Amount	Total
14/110							
WH2	-	Install a Elevator Addition for ADA Access		I			
Α.	_	Demolition			* 400 00	A .00	
	_	Remove courtyard landscaping		allow	\$460.00	\$460	
		Remove curtain wall glazing	3	allow	\$820.00	\$2,460	
	_	Remove wall mounted lights, speakers, & devices	1	allow	\$480.00	\$480	
	_	Masonry demolition			Se	ee Masonry Below	
	_	Interior Demo	_				
		a. Remove wood siding and window sills		locations	\$180.00	\$540	
	_	b. Remove ceiling tile	3	locations	\$180.00	\$540	
	_	c. Strip flooring at elevator threshold	3	locations	\$90.00	\$270	
	_	Remove fin tube				Mechancal Below	
	7	Remove debris from Building	4	m.h.	\$92.00	\$368	
	_	Dumpsters	2	each	\$500.00	\$1,000	
B.		Elevator pit & concrete work					
	1	Excavation for pit & footing	74	c.y.	\$25.00	\$1,859	
	2	Elevator pit allowance	1	allow	\$8,000.00	\$8,000	
	3	Equipment room & vestibule foundation	33	l.f.	\$275.00	\$9,075	
	4	Waterproofing allowance	198	s.f.	\$6.00	\$1,188	
	5	Backfill	37	c.y.	\$25.00	\$930	
C.		Masonry					
	1	Create openomg in exterior brick wall					
		a. Scaffolding	3	floor	\$920.00	\$2,760	
		b.Remove bricks and tooth jambs	3	floor	\$1,640.00	\$4,920	
		c. Modify existing parapets for new addition	1	allow	\$1,640.00	\$1,640	
	2	Elevator shaft					
		a. 8" CMU shaft partition	150	s.f.	\$14.00	\$2,100	
	_	b. Brick cavity wall at Equipment Rm & Vestibule	525	s.f.	\$50.00	\$26,250	
	_	c. Brick cavity wall at Lobbies & shaft	945	s.f.	\$50.00	\$47,250	
		f. Modify parapet	15	l.f.	\$100.00	\$1,500	
		g. Override penthouse allowance	150	s.f.	\$50.00	\$7,500	
D.	_	Structural for elevator lobbies				. ,	
	_	Slab on grade for shaft and Equip. room	170	s.f.	\$8.00	\$1,360	
		Equipment room & shaft roof decks	150		\$35.00	\$5,250	
		Structural deck connection to existing building		each	\$1,500.00	\$6,000	
F.	_	Roofing	·		, .,	73,330	
	_	Built up roofing and insulation	150	s.f.	\$25.00	\$3,750	
	_	Flashing & connection to existing	50		\$65.00	\$3,250	
G.	_	Custom elevator allowance		each	\$100,000	\$100,000	
<u> </u>	_	Exterior doors and windows	'	54011	ψ.50,000	ψ100,000	
	_	Exterior HM door at Equipment Room	1	allow	\$1,200	\$1,200	
		Modify the existing window systems		locations	\$2,520	\$7,560	
	_	modify the existing window systems	,	iocations	Ψ2,320	Ψ1,500	
-							

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District Accessibility Renovations Whittier Elementary School

Preliminary

STER CONSULTING 350 West Ontario Street, Suite 200 Chicago, Illinois 60654

Client: Oak Park District 97
Architect: STR Partners # 13160

No.	Description	Quantity	Unit	Unit Price	Amount	Total
WH2	Install a Elevator Addition for ADA Access					
I.	Interior Construction					
	1 Miscellaneous Metels					
	a. Miscellaneous metal ladder & threshold	1	allow	\$1,200.00	\$1,200	
	2 Drywall Partitions					
	a. Miscellaneous patching	1	allow	\$920.00	\$920	
;	ACT Ceiling					
	a. Re-install ACT ceiling at 2nd & 3rd floor	2	each	\$230.00	\$460	
	b. Re-work window well at 1st floor	1	allow	\$1,940.00	\$1,940	
J.	Interior Finishes					
	1 Flooring					
	a. VCT floor repairs	3	locations	\$560.00	\$1,680	
	b. Elevator flooring	1	allow	\$500.00	\$500	
	c. 4" wall base	•	l.f.	\$3.50	\$105	
	f. Sealed concrete floor in equipment room		s.f.	\$1.50	\$83	
	2 Painting	- 55	J.1.	ψ1.00	ΨΟΟ	
<u> </u>	a. Paint CMU	360	e f	\$1.20	\$432	
	b. Paint - touch up and chalking	1	allow	\$920.00	\$920	
	c. Paint ceiling & window well at 1st floor	1	allow	\$920.00	\$920	
K.	HVAC Modification	'	anow	ψ920.00	ψ320	
	1 Heating & exhaust for elevator equipment room	1	allow	\$4,000.00	\$4,000	
	2 Elevator shaft exhaust	1	allow	\$1,500.00	\$1,500	
	3 Modify 2nd & 3rd floor fin tube & covers	2		\$3,080.00	\$6,160	
			each		·	
	4 Modify 1st floor fin tube & covers at curtain walls Electrical	1	each	\$3,840.00	\$3,840	
L.						
	Power to elevator	4	allann	#20.000	#20.000	
	a. Modify existing switchgear or MDP		allow	\$20,000	\$20,000	
	b. New panels	1	allow	\$8,000.00	\$8,000	
	c. Final connections, trim out, and testing	1	allow	\$2,000.00	\$2,000	
	2 Revise lighting for elevator lobby	3	each	1,640.00	\$4,920	
	3 Lighting and electrical device in shaft	1	allow	500.00	\$500	
	Lighting and convenience power in equipment roon		each	1,260.00	\$1,260	
M.	Fire Alarm & Communication Connections	1	allow	\$3,680.00	\$3,680	
	Security cameras				NIC	
-	2 Exterior speaker				None	
	Subtotal					\$314,4
N.	General Requirements					
	1 General Conditions	10%		\$314,479	\$31,448	
	2 Contractor Overhead & Profit	8%		\$345,927	\$27,674	
;	3 Contingency	15%		\$373,602	\$56,040	
	Total Construction Estimated Cost					\$429,6

District Accessibility Renovations Whittier Elementary School

Preliminary

350 West Ontario Street, Suite 200 Chicago, Illinois 60654

Client: Oak Park District 97 Architect: STR Partners # 13160

lo.	Description	Quantity	Unit	Unit Price	Amount	Total
	Remove Two Stairs and Provide Two ADA Ramp	at Secor	nd Floo	r Corridor		
	Selective Demolition					
	Remove existing handrails		hours	\$90.00	\$180	
	Remove existing flooring & demo steps	2	allow	\$1,840.00	\$3,680	
	Remove 1st Floor ceilings & lighting Corridor 110C	350	s.f.	\$2.00	\$700	
	Remove floor structure			1	Structural Below	
	Deposal of material	4	loads	\$500.00	\$2,000	
	Protection					
	Barricade and fencing (2nd & 1st Floors)		l.f.	\$25.00	\$800	
	Maintenance and removal of protection	16	hours	\$85.00	\$1,360	
	Structural work					
1 F	Remove concrete floor structural	2	allow	\$3,380.00	\$6,760	
2 [Deposal of concrete material	8	loads	\$500.00	\$4,000	
3 N	New steel floor structure	2	allow	\$9,360.00	\$18,720	
4 F	Ramp deck	350	s.f.	\$35.00	\$12,250	
O. Ir	nterior Construction					
1 F	First floor ceiling	350	s.f.	\$10.00	\$3,500	
2 N	New wood paneling partitions at ramps	1,050	s.f.	\$12.00	\$12,600	
	Exposed wall surfaces at ramp side	23	s.f.	\$12.00	\$270	
	Hand rails					
а	a. Wall mounted	72	l.f.	\$75.00	\$5,400	
b	o Free standing		l.f.	\$275.00	\$4,675	
	nterior Finishes			,	, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	
	New flooring	350	s.f.	\$5.00	\$1,750	
	New wall base		l.f.	\$4.00	\$340	
	Stain walls		s.f.	\$2.50	\$1,750	
	Electrical		0.11.	Ψ2.00	ψ1,700	
	Reinstall first floor lighting	350	s f	\$7.00	\$2,450	
	Fire alarm and exit devices	1	allow	\$1,260.00	\$1,260	
	Allowance for Mechanical & Plumbing conflicts	350		\$25.00	\$8,750	
J. /	Subtotal		3.1.	Ψ20.00	ψ0,700	\$93,1
	Subiolai				 ==========	უფა, i
	Subtotal Construction					£02.4
	Subtotal Construction					\$93,1
	General Requirements	100/		¢02.405	60 300	
	General Conditions	10%		\$93,195	\$9,320	
	Contractor Overhead & Profit	8% 15%		\$102,515 \$110,716	\$8,201 \$16,607	
3 10	Mobilization, Temp Protection, Non-productive Lab	15%		φ110,/10	\$10,007	A10= 1
	Total Construction Estimated Cost					\$127,3
				1		

District Accessibility Renovations Whittier Elementary School

Preliminary

350 West Ontario Street, Suite 200 Chicago, Illinois 60654

Client: Oak Park District 97 Architect: STR Partners # 13160

No.	Des	cription	Quantity	Unit	Unit Price	Amount	Total
		- r	1				
WH3	Provide ADA Ramp at	First Floor Corridor					
Α.	Selective Demolition						
	Remove wall mounted of	evices	2	hours	\$90.00	\$180	
	Prep stair and floor for r		1	allow	\$568.00	\$568	
	Demo entry to Classroo	·			700000	7222	
	a. Remove door and fra		1	allow	\$205.00	\$205	
	b. Remove ceiling and f		1	allow	\$230.00	\$230	
В.	Protection	g			V	7-22	
	Barricade and fencing		18	l.f.	\$25.00	\$450	
	Maintenance and remov	al of protection	4	hours	\$90.00	\$360	
E.	Concrete Ramp and Lar	· · · · · · · · · · · · · · · · · · ·	'	nouro	φοσ.σσ	φοσσ	
	Ramp slab with formcor	-	180	s.f.	\$35.00	\$6,300	
	Exposed ramp wall	6 IIII	100	3.1.	Ψ00.00	φο,σσσ	
	a. Ramp		25	s.f.	\$75.00	\$1,875	
	b. Epoxy dowels into ex	isting Slah	13	each	\$150.00	\$1,950	
F.	Miscellaneous Metals	Stirig Olab	10	Cacii	Ψ130.00	ψ1,950	
1.	Free standing		26	l.f.	\$200.00	\$5,200	
	Wall mounted			I.f.	\$75.00	\$4,200	
G.	New entry to Classroom	111	30	1.1.	\$75.00	\$4,200	
G.	New partitions	114	1	allow	\$1,220,00	\$1,220	
	· ·	h aidalight			\$1,220.00	·	
	New classroom door wit			allow	\$1,500.00	\$1,500	
	Modify flooring and ceili	ng	1	allow	\$1,580.00	\$1,580	
Н.	Painting	-:1-	1	allann	#400.00	£400	
	Allowance for painting ra		1 100	allow	\$460.00	\$460	
	Allowance to paint walls Paint HM door and fram		468	s.f.	\$1.50 \$85.00	\$702	
			1	allow	\$65.00	\$85	07.0
		Construction			 		\$27,0
l.	General Requirements		100/		****	40.505	
	General Conditions	D 61	10%		\$27,065	\$2,707	
	Contractor Overhead &	Profit	8%		\$29,772	\$2,382	
	Contingency		15%		\$32,153	\$4,823	
	Total Constructi	on Estimated Cost					\$36,9

District Accessibility Renovations Whittier Elementary School

Preliminary

350 West Ontario Street, Suite 200 Chicago, Illinois 60654

Client: Oak Park District 97
Architect: STR Partners # 13160

No.	:	Description	Quantity	Unit	Unit Price	Amount	Total
INO.	_	Description	Quantity	Onit	Office	Amount	Iotai
11011				<u> </u>			
WH4	_	Create Six Areas of Rescue Assistance at Second	and Third	Floor S	tairwells		
Α.		Demolition and Prep					
		Temporary barricades	30		\$25.00	\$750	
	_	Remove Existing Ceiling		s.f.	\$2.00	\$240	
		Remove hallway partition & pair	3	allow	\$920.00	\$2,760	
	_	Remove lockers	4	each	\$45.00	\$180	
	5	Remove debris from Building	8	m.h.	\$92.00	\$736	
	6	Dumpsters	2	each	\$500.00	\$1,000	
	7	Clean up & house keeping	1	allow	\$360.00	\$360	
B.		Interior Construction					
	1	Rated Hallway HM Frame / Pair HM Door / Hardwa	3	pair	\$2,800.00	\$8,400	
	2	Rated hallway partition	450	s.f.	\$10.00	\$4,500	
	3	Repair wall at dis-jointed partitions	3	allow	\$920.00	\$2,760	
		Infill locker recesses	90	s.f.	\$7.00	\$630	
	5	Repair ceiling at removed walls		s.f.	\$12.00	\$1,440	
		6" x 9" Signs	10	each	\$50.00	\$500	
C.		Painting and Finishes			,	, · · · · ·	
	_	Paint walls	540	s.f.	\$1.00	\$540	
	_	Paint Ceiling		s.f.	\$2.00	\$240	
	_	Paint HM Pair Frame		each	\$120.00	\$360	
		Repair flooring		allow	\$1,220.00	\$3,660	
D.		HVAC		anow	ψ1,220.00	None	
E.		Plumbing				None	
F.		Electrical				None	
' '	_	Modify existing Lighting & exit signs	6	allow	\$1,360.00	\$8,160	
	_	Fire Alarm	0	allow	1	xisting to Remain	
	_	Two Way Communications "Box"	6	ooob	\$500.00	_	
	_	-		each	+	\$3,000	
		Tie Into Existing Two Way System in Building	6	each	\$1,500.00	\$9,000	
		Low Voltage Power to Door Hold Opens	3	each	\$2,500.00	\$7,500	
		Connect hold opens to FA	3	each	\$2,500.00	\$7,500	
G.		Fire Protection				None	
		Subtotal Total Estimated Budget					\$64,2
H.	_	General Requirements	_				
	_	General Conditions	15%		\$64,216	\$9,632	
	_	Contractor Overhead and Profit	8%		\$73,848	\$5,908	
	3	Contingency	10%		\$79,756	\$7,976	
		Total Estimated Budget					\$87,7
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District Accessibility Renovations Whittier Elementary School

Preliminary

STER CONSULTING 350 West Ontario Street, Suite 200 Chicago, Illinois 60654

Client: Oak Park District 97 Architect: STR Partners # 13160

November 8, 2013

No.		Description	Quantity	Unit	Unit Price	Amount	Total
VA/LI4				5.0 14.1			
WH1		Option Two - Addition with Exterior ADA Access	Ramp to	Multip	urpose Roo	m	
Α.		Selective Demolition		l	000.00	# 400	
		Remove wall mounted devices		hours	\$90.00	\$180	
		Remove paving		s.f.	\$8.00	\$6,400	
		Salvage existing window for re-use in Addition		each	\$205.00	\$820	
	4	Remove doors	4	leafs	\$120.00	\$480	
В.	_	Protection			0.40.00	**	
		Barricade and fencing		l.f.	\$10.00	\$8,000	
	2	Maintenance and removal of protection	40	hours	\$90.00	\$3,600	
C.		Excavation and Concrete			42.22	4	
		Clean and compact foot print		s.f.	\$2.00	\$1,200	
	_	Excavation for footing		C.y.	\$20.00	\$1,138	
		Disposal of debris		loads	\$500.00	\$1,500	
		Footing		C.y.	\$250.00	\$1,806	
		Foundation 12" thick		C.y.	\$400.00	\$3,852	
	_	Slab on grade		s.f.	\$5.00	\$2,000	
		Ramp slab	174	s.f.	\$8.00	\$1,392	
D.	_	Masonry					
	_	Cut door opening to Multipurpose 103	1	allow	\$1,656.00	\$1,656	
		Exterior brick cavity walls - Bearing		s.f.	\$50.00	\$65,000	
	_	Modify existing windows opening for ramp	4	each	\$920.00	\$3,680	
	3	Patch and trim existing masonry walls	1	allow	\$1,656.00	\$1,656	
E.		Roof structure	400	s.f.	\$30.00	\$12,000	
F.	_	Roofing					
	1	Single ply roof with insulation		s.f.	\$18.00	\$7,200	
	2	Connection to existing building	67	l.f.	\$65.00	\$4,355	
G.		Windows and Doors					
	1	Exterior storefront pair of entry door with sidelights	1	each	\$4,500.00	\$4,500	
	2	Re-install existing exterior windows	4	each	\$836.00	\$3,344	
	3	HM door & frame to Room 103	1	each	\$1,200.00	\$1,200	
	4	Modify windows in Corridor 170H for connection	1	allow	\$3,840.00	\$3,840	
	5	Allowance for interior windows in Classroom 101	4	each	\$840.00	\$3,360	
H.		Interior Construction					
	1	Rated drywall partitions				None	
	2	Sills and trim at exterior window	4	each	\$480.00	\$1,920	
	3	Repair jamb opening at new door to 103	1	location	\$460.00	\$460	
	4	Patch & repair old window wall in Room 101	4	each	\$480.00	\$1,920	
	5	2x4 ACT ceiling	400	s.f.	\$3.75	\$1,500	
I.		Miscellaneous Metals					
	1	Free standing				None	
	2	Wall mounted	60	l.f.	\$75.00	\$4,500	

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District Accessibility Renovations Whittier Elementary School

Preliminary

350 West Ontario Street, Suite 200 Chicago, Illinois 60654

Client: Oak Park District 97 Architect: STR Partners # 13160

No.		Description	Quantity	Unit	Unit Price	Amount	Total				
WH1		Option Two - Addition with Exterior ADA Acce	ess Ramp to	Multip	urpose Roo	m					
J.		Painting									
		Allowance for painting rails	_	allow	\$410.00	\$410					
		Clean existing brick walls		s.f.	\$1.00	\$594					
		Paint HM door and frame	-	each	\$120.00	\$120					
	_	Paint CMU walls	513		\$1.10	\$564					
	6	Miscellaneous painting & chalking	1	allow	\$250.00	\$250					
K.		HVAC									
		Allowance for fin tube	50		\$60.00	\$3,000					
	2	Exhaust system	1	allow	\$1,500.00	\$1,500					
L.		Electrical									
		Exit sign	-	each	\$500.00	\$1,000					
		Lighting		s.f.	\$6.00	\$2,400					
		FA devices (pulls, horn & strobes)	1	allow	\$1,260.00	\$1,260					
	4	Outlets and power	1	allow	\$800.00	\$800					
M.		Plumbing									
	1	Roof drains and downspouts	2	each	\$800.00	\$1,600					
N.		Restore paving and site	1	allow	\$2,500.00	\$2,500					
		Subtotal Construction					\$170,4				
Ο.		General Requirements									
	1	General Conditions	10%		\$170,456	\$17,046					
	2	Contractor Overhead & Profit	8%		\$187,502	\$15,000					
	3	Contingency	15%		\$202,502	\$30,375					
		Total Construction Estimated Cost	400	s.f.	\$582.19		\$232,8				
1		Assume there are no underground utilities or obstruction with ramp footprint to be relocated.									
					1						